

City of Jurupa Valley

IMPORTANT NOTICE:
FOR ONLINE PUBLIC PARTICIPATION SEE PAGE 3

MEETING AGENDA OF THE PLANNING COMMISSION

Wednesday July 8, 2020

Regular Meeting: 7:00 P.M.

City of Jurupa Valley City Hall

City Council Chambers

8930 Limonite Ave., Jurupa Valley, CA 92509

- A. As a courtesy to those in attendance, we ask that cell phones be turned off or set to their silent mode and that you keep talking to a minimum so that all persons can hear the comments of the public and Planning Commission. The Commission Rules of Order require permission of the Chair to speak with anyone at the staff table or to approach the dais.
- B. A member of the public who wishes to speak under Public Comments must fill out a "Speaker Card" and submit it to the City Staff BEFORE the Chairman calls for Public Comments on an agenda item. Each agenda item up will be open for public comments before taking action. Public comments on subjects that are not on the agenda can be made during the "Public Appearance/Comments" portion of the agenda.
- C. If you wish to address the Planning Commission on a specific agenda item or during public comment, please fill out a speaker card and hand it to the Clerk with your name and address before the item is called so that we can call you to come to the podium for your comments. While listing your name and address is not required, it helps us to provide follow-up information to you if needed. Exhibits must be handed to the staff for distribution to the Commission.
- D. As a courtesy to others and to assure that each person wishing to be heard has an opportunity to speak, please limit your comments to 5 minutes.

REGULAR SESSION

1. 7:00 P.M. – Call to Order and Roll Call

- Arleen Pruitt, Chair
- Guillermo Silva, Chair Pro Tem
- Mariana Lopez
- Corey Moore
- Penny Newman

2. Pledge of Allegiance

3. Public Appearance/Comments (30 minutes)

4. Approval of Agenda

5. Approval of Minutes

5.1 June 10, 2020 Regular Meeting

5.2 June 24, 2020 Cancelled Meeting

6. Public Hearings - NONE

7. Commission Business

7.1 STUDY SESSION: MA14143 (GPA1408, CZ1497, & TTM36748)

PROJECT: PROPOSED 74 SINGLE-FAMILY RESIDENTIAL LOT SUBDIVISION OF 25.6 ACRES

LOCATION: GENERALLY LOCATED AT EAST OF PEDLEY ROAD, SOUTH OF 58th STREET, & NORTH OF LIMONITE AVE, (APNS: 165-160-017, 165-160-019, 165-140-039, 165-140-041, 165-140-042, 165-140-044, 165-140-045, & 165-140-047)

APPLICANT: NOVA HOMES

RECOMMENDATION

That the Planning Commission receive an update on the project and identify items of concern or requests for additional information to be addressed when the project is brought forward for public hearing.

8. Public Appearance/Comments

9. Planning Commissioner's Reports and Comments

10. Planning Department Report

11. Adjournment to the July 22, 2020 Regular Meeting

In compliance with the Americans with Disabilities Act and Government Code Section 54954.2, if you need special assistance to participate in a meeting of the Jurupa Valley Planning Commission, please call 951-332-6464. Notification at least 48 hours prior to the meeting or time when services are needed will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting or service.

Agendas of public meetings and any other writings distributed to all, or a majority of, the Jurupa Valley Planning Commission in connection with a matter subject to discussion or consideration at an open meeting of the Planning Commission are public records. If such writing is distributed less than 72 hours prior to a public meeting, the writing will be made available for public inspection at the City of Jurupa Valley, 8930 Limonite Ave., Jurupa Valley, CA 92509, at the time the writing is distributed to all, or a majority of, the Jurupa Valley Planning Commission. The Planning Commission may also post the writing on its Internet website at www.jurupavalley.org.



IMPORTANT NOTICE:

In response to the COVID-19 pandemic, the City of Jurupa Valley is urging those wishing to attend a Planning Commission meeting, to avoid attending the meeting and watch the live webcast, which can be accessed at this link: <https://www.jurupavalley.org/422/Meeting-Videos>. The Planning Commission Agenda can be accessed at this link: <https://www.jurupavalley.org/agendacenter>.

For those wishing to make public comments at Wednesday night's Planning Commission meeting, you are being asked to submit your comments by email to be read aloud at the meeting by the Planning Commission's Recording Secretary.

Public comments may be submitted to the Planning Commission's Recording Secretary at greed@jurupavalley.org. Email comments on matters that are not on the Agenda and email comments for matters on the Consent Calendar must be submitted prior to the time the Chair calls the item for Public Comments. Members of the public are encouraged to submit comments prior to 6:00 p.m. Wednesday.

Email comments on other agenda items must be submitted prior to the time the Chair closes public comments on the agenda item or closes the public hearing on the agenda item. All email comments shall be subject to the same rules as would otherwise govern speaker's comments at the Planning Commission Meeting.

The Planning Commission's Recording Secretary shall read all email comments, provided that the reading shall not exceed three (3) minutes, or such other time as the Planning Commission may provide, because this is the time limit for speakers at a Planning Commission Meeting. The email comments submitted shall become part of the record of the Planning Commission Meeting.

Comments on Agenda items during the Planning Commission Meeting can only be submitted to the Planning Commission's Recording Secretary by email. The City cannot accept comments on Agenda items during the Planning Commission Meeting on Facebook, social media or by text.

This is a proactive precaution taken by the City of Jurupa Valley out of an abundance of caution. Any questions should be directed to the Planning Commission's Recording Secretary, Grizelda Reed, at (951) 332-6464.



AVISO IMPORTANTE:

En respuesta a la pandemia de COVID-19, la ciudad de Jurupa Valley le urge a aquellos que desean atender una junta de la Comisión de Planificación, que eviten atender la junta y el lugar ver la junta en el webcast en vivo que puede ser accedido en este vínculo: <https://www.jurupavalley.org/422/Meeting-Videos>. La agenda de la Comisión de Planificación puede ser accedido en este vínculo: <https://www.jurupavalley.org/agendacenter>.

Para ellos que quieran hacer comentarios públicos en la junta del miércoles, se les pide que sometan sus comentarios por correo electrónico para que sean leídos en voz alta en la junta por la Secretaria de Grabación de la Comisión de Planificación.

Comentarios públicos pueden ser sometidos a la Secretaria de Grabación de la Comisión de Planificación a greed@jurupavalley.org. Correos electrónicos sobre asuntos que no están en la agenda y correos electrónicos sobre asuntos que aparecen en el calendario de consentimiento deben ser sometidos antes del tiempo en cuando el presidente de la Comisión de Planificación llame el artículo para comentarios públicos. Miembros del público deberían someter comentarios antes de las 6:00 p.m. el miércoles.

Correos electrónicos sobre otros artículos de la agenda tienen que ser sometidos antes del tiempo en que se cierran los comentarios públicos en ese artículo de la agenda o cuando se cierre la audiencia pública sobre ese artículo de la agenda. Todos los comentarios por correo electrónico serán tratados por las mismas reglas que han sido establecidas para juntas de Comisión de Planificación.

La Secretaria de Grabación de la Comisión de Planificación leerá todos los comentarios recibidos por correo electrónico siempre y cuando la lectura del comentario no exceda tres (3) minutos o cualquier otro periodo de tiempo que la Comisión de Planificación indique. Este periodo de tiempo es el mismo que se permite en juntas de la Comisión de Planificación. Los comentarios leídos en la junta serán grabados como parte de la junta de Comisión de Planificación.

Durante la junta de la Comisión de Planificación, comentarios sobre artículos de la agenda solo pueden ser sometidos a la Secretaria de Grabación de la Comisión de Planificación por correo electrónico. La ciudad no puede aceptar comentarios sobre artículos de la agenda durante la junta de Comisión de Planificación por Facebook, redes sociales, o por mensajes de texto.

Esto es una precaución proactiva que se tomó acabo por la ciudad de Jurupa Valley por precaución. Preguntas pueden ser dirigidas a la Secretaria de Grabación de la Comisión de Planificación, Grizelda Reed, al (951) 332-6464.

City of Jurupa Valley

DRAFT MINUTES PLANNING COMMISSION June 10, 2020

1. Call to Order and Roll Call

The Regular Session of the Jurupa Valley Planning Commission meeting was called to order at 7:00 p.m. on June 10, 2020 at the City Council Chambers, 8930 Limonite Ave., Jurupa Valley.

Members present:

- Arleen Pruitt, Chair
- Chair Pro Tem Guillermo Silva, via conference call
- Mariana Lopez, Commission Member
- Penny Newman, Commission Member
- Corey Moore, Commission Member

Members absent: All Present

2. Pledge of Allegiance – Commissioner Lopez led the Pledge of Allegiance

3. Public Appearance/Comments - None

4. Approval of Agenda

Chair Pruitt moved, Commissioner Newman seconded a motion to approve the June 10, 2020 agenda. The motion was approved 5-0

Ayes: Lopez, Newman, Moore, Pruitt, Silva

Noes: None

Abstained: None

Absent: None

5. Approval of Minutes

Commissioner Moore and Commissioner Lopez seconded, a motion to approve the May 27th, 2020 Planning Commission Minutes with corrections. The motion was approved 5-0.

Ayes: Lopez, Newman, Moore, Pruitt, Silva

Noes: None

Abstained: None

Absent: None

6. PUBLIC HEARING - NONE

7. Commission Business

7.1 MASTER APPLICATION (MA) NO. 19211 (CUP19004) RESOLUTION TO DENY CUP19004 FOR THE MCKINNEY TRAILER RENTALS, SALES AND SERVICE PROJECT LOCATION: 5610 MARKET STREET- APPLICANT: J.T.MCKINNEY CO.INC.

Ms. Rocio Lopez, Senior Planner, provided a summary of the May 27th Planning Commission hearing and presented the resolution to deny the Conditional Use Permit No. 19004 pursuant to Planning Commission direction.

PUBLIC HEARING OPENED

Mr. Jeremy Krout, Applicant representative, provided a PowerPoint presentation with responses to the Planning Commission from the May 27th Planning Commission hearing.

PUBLIC HEARING CLOSED

Chair Pruitt moved and Commissioner Newman seconded, a motion to adopt Resolution No. 2020-06-10-01 denying Conditional Use Permit No. 19004. The motion was approved 5-0.

Ayes: Pruitt, Silva, Lopez, Newman, Moore

Noes: None

Abstained: None

Absent: None

7.2 STUDY SESSION TO REVIEW THE GENERAL PLAN PHASE 1 ZONING IMPLEMENTATION PROGRAM TO REZONE PROPERTIES RE-DESIGNATED BY THE 2017 GENERAL PLAN.

Ms. Tamara Campbell, Principal Planner, presented the staff report and provided a PowerPoint Presentation regarding General Plan Phase 1 Zoning Implementation Program. Ms. Campbell summarized the City Council's adoption of the 2017 General Plan and the limited changes to the Zoning Map and Ordinance in September 7, 2017 and noting that many of the 21 land use map changes resulted in making the existing zoning and the affected properties inconsistent with the General Plan. Ms. Campbell reviewed a summary of Phase 1, Group 1 and discussed the 4 geographic areas.

COMMISSIONER DISCUSSION

- Consideration for higher density in Areas 6 and 7
- Consideration for a Buffer Zone for residents for Areas 6 and 7
- Discussion for permitted uses for C-P-S and CI Zones
- Consideration for provisions for Non-Conforming Uses for LUA 15

8. Public Appearance / Comments – NONE

9. Planning Commissioner's Reports and Comments

Chair Pruitt announced she had replied to a resident who attended the public hearing at the May 27th hearing and was pleased with comments. Chair Pruitt also thanked the Sikh community for their donations to the community.

10. Planning Department Report

Mr. Tom Merrell, Planning Director, provided an update on the current, advance planning, and upcoming projects.

Respectfully submitted,

Thomas G. Merrell, AICP, Planning Director
Secretary of the Planning Commission

City of Jurupa Valley

MINUTES
PLANNING COMMISSION
CITY OF JURUPA VALLEY
June 24, 2020

1. Call to Order and Roll Call

Due to the prior cancelation of the Regular Session, the Jurupa Valley Planning Commission meeting was called to order by the Secretary of the Planning Commission at 7:00 p.m. on June 24, 2020 at the City Council Chambers, 8930 Limonite Ave., Jurupa Valley and due to a lack of a quorum, was adjourned.

Roll Call:

- Arleen Pruitt, Chair, Absent
- Guillermo Silva, Chair Pro Tem, Absent
- Mariana Lopez, Commission Member, Absent
- Corey Moore, Commission Member Absent
- Penny Newman, Commission Member, Absent

Meeting was adjourned due to the lack of a quorum.

Respectfully submitted,

Thomas G. Merrell, AICP, Planning Director
Secretary of the Planning Commission

City of Jurupa Valley

RETURN TO AGENDA

STAFF REPORT

DATE: JULY 8, 2020

TO: CHAIR PRUITT AND MEMBERS OF THE PLANNING COMMISSION

FROM: THOMAS G. MERRELL, AICP, PLANNING DIRECTOR
BY: MICHAEL FELLOWS, AICP, SENIOR PLANNER

SUBJECT: AGENDA ITEM NO. 7.1

STUDY SESSION: MA14143 (GPA1408, CZ1497, & TTM36748)
PROJECT: PROPOSED 74 SINGLE-FAMILY RESIDENTIAL LOT
SUBDIVISION OF 25.6 ACRES
LOCATION: GENERALLY LOCATED AT EAST OF PEDLEY ROAD, SOUTH
OF 58th STREET, & NORTH OF LIMONITE AVE, (APNS: 165-160-017, 165-
160-019, 165-140-039, 165-140-041, 165-140-042, 165-140-044, 165-140-045,
& 165-140-047)

APPLICANT: NOVA HOMES

RECOMMENDATION

That the Planning Commission receive an update on the project and identify items of concerns or requests for additional information to be addressed when the project is brought forward for public hearing.

INTRODUCTION OF PROJECT

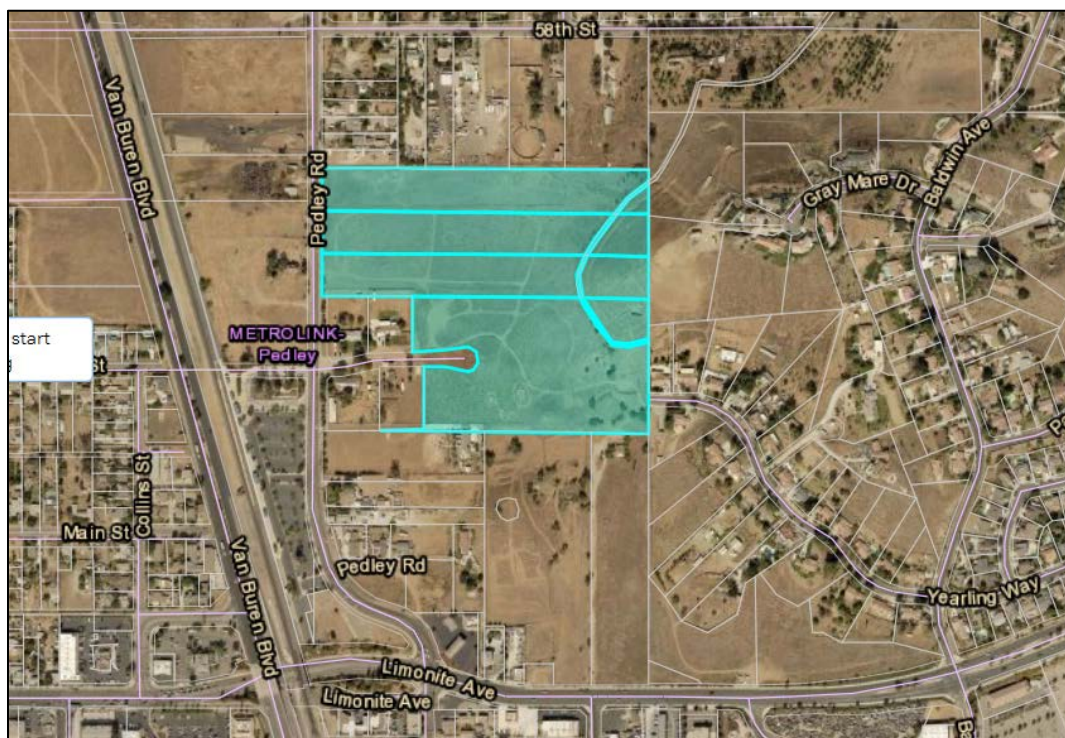
The Applicant is proposing a 74-lot, single-family subdivision on 25.6 acres of vacant land. The proposed density is 2.89 dwelling units per acre.

The project abuts the east side of Pedley Road, north of Limonite Avenue and south of 58th Street. The surrounding area is mostly residential with Jurupa Valley / Pedley Metrolink Station to the west side of Pedley Road, as shown on Exhibit A on the next page.

This project would require the following approved entitlements:

1. **General Plan Amendment (GPA) No. 1408:** Change the General Plan Land Use Designation from Low Density Residential (LDR) to Medium Density Residential (MDR).
2. **Zone Change (CZ) No. 1497:** Change the Zone from Residential Agriculture (R-A) and Light Agriculture (A-1) to One Family Dwellings (R-1) zone.
3. **Tentative Tract Map (TTM) 36748:** Subdivide 25.6 acres into 74 single-family lot subdivision.

EXHIBIT A. LOCAL VICINITY MAP



BACKGROUND

2012 Pre-Application. The applicant submitted a Pre-Application report for a proposed 282 single-family lot subdivision on 38.9-acres. The proposed minimum lot size was 3,383 square-feet.

The subdivision included amenities such as equestrian facilities. After receiving interagency comments, the applicant prepared for their formal entitlement submittal.

2014 Formal Application. On October 23, 2014 the entitlement applications were filed and the applicant modified the project. The proposed unit count reduced from 282 units to 177 single-family units on 38.9-acre project site. The proposed minimum lot size was 3,680 square-feet. The applicant proposed an R-4 subdivision development which allows for smaller lots (minimum lot size 3,600 square-feet).

2015 Planning Commission Study Session.

- In March of 2015, the Planning Commission conducted a study session and evaluated two conceptual plans. Issues identified during the study session included the following:
 - compatibility with surrounding land uses
 - proximity to (and compatibility with) mass transit
 - access of future residents to multi-use trails
 - substantial increase in density
 - potential traffic impacts
 - connectivity to surrounding streets and neighborhoods.

- In April of 2015, the staff presented an update to the Planning Commission at another study session. The applicant considered the Planning Commission's feedback and revised the plans. Two revised conceptual site plans were presented and the Commissioners responded that the same issues remained. In addition, the concern was expressed that a gated community is not compatible with a "traditional" neighborhood or the character of the surrounding area. It was also noted that the project should include other land uses and not be limited to single-family homes. The Commission expressed a desire to include land uses that would be compatible with a new Civic Center and the existing Jurupa Valley/ Pedley Metrolink station.

2016 Planning Commission Study Session. The applicant considered the additional feedback from both 2015 Study Sessions and revised the plans again. The Planning Commission held a study session in October 2016 and November 2016. The revised proposal included 116 single-family homes and the minimum lot size is 4,000 square-feet. Furthermore, the applicant included two commercial areas: (1) a 3.2-acre commercial site was proposed at the northwest corner of the property and (2) commercial node on the north side of Limonite Avenue.

2018 Revised Project: Reduction in Density and Project Area. In May 2018, the applicant submitted a revised project that reduced the project area from 38.9-acres to 25.6-acres. Additionally, there is a reduction in the total number of proposed units from 116 units to 90 units. The proposal eliminated the properties that abut Limonite Avenue.

2019 – 2020 Revised Project: Traditional Neighborhood Design. The applicant has been working with Staff to redesign the project to provide traditional neighborhood design. These conversations included limiting houses to a single-story in height, increasing lot sizes and providing increased yard area, greater setbacks between units, and providing three different garage layouts including a direct entry, side entry, and garages located near the back of the property. The intent of varying garages is to avoid house frontages with garage doors as a prominent feature.

The applicant has modified the Change of Zone application request from R-4 zone to the R-1 zone. With this change, the applicant is now planning to request 50 percent of the units to be two-stories tall because of the larger lot sizes required by the R-1 zone. The applicant had previously agreed to limit all houses to a single-story in height in their previous discussions with Staff for the R-4 zone. In spring of 2020, the City Council approved a small subdivision, 28 single-family lots, on Hudson Street (between 60th and 59th Streets) that allowed for a maximum of 57% of two-story homes. Thus, the applicant's proposal is similar to one of City Council's recent approvals.

PROJECT DESCRIPTION The current proposal is a 74 single-family lot subdivision on 25.6 acres of vacant land (2.8 dwelling units per acre). From the 2012 proposal, the project has been reduced from 282 to 74 single-family lots. The proposed lot size ranges from 7,212 square-feet to 19,131 square-feet as shown on Exhibit B "Conceptual Plan." See the attached conceptual plan for an enlargement of the map.

The applicant has not provided details of the houses that would be constructed on the properties, as they want to maintain flexibility for the builder which may be them or another builder. The applicant has provided elevations concepts (attached) that could be used.

EXHIBIT B: CONCEPTUAL PLAN



Neighborhood Connectivity & Access Points to Project Site.

Proposed access to the project site would be as follows:

- Pedley Road via 60th Street and Street "A."
- Yearling Way on the southeast side of the development.

Staff generally encourages connectivity between new residential development and existing residential development. In addition to Yearling Way, staff is considering one other future connection if it is possible. An access point could connect this development to the vacant properties located south of this project site which abuts Limonite Avenue (previously included in the project and under separate ownership).

The project's internal streets would be public streets. The right-of-ways are proposed at 56 feet wide and would include a curb-adjacent landscaped parkway.

Required Entitlements.

1. **General Plan Amendment:** The existing General Plan land use designation is Country Neighborhood, Low Density Residential (LDR) that is intended for single-family dwellings, limited agriculture, and intensive equestrian and animal keeping uses on lots not smaller than 1/2-acre in size or two (2) dwelling units per acre. The applicant is proposing the Medium Density Residential (MDR) Land Use Designation that is intended single-family dwellings, limited agriculture, and animal keeping uses at a density up to five (5) dwelling units per acre. The proposed density is 2.8 dwelling units per acre.

- 2. Change of Zone:** There are two existing zoning designations: Residential Agriculture (R-A) and Light Agriculture (A-1). The R-A and A-1 zones permit single-family dwellings plus limited agriculture and animal keeping; however, the minimum lot size for both zones is 20,000 square-feet.

The applicant is requesting the R-1 zone which has a minimum lot area of 7,200 square-feet. The R-1 zone permits similar uses, single-family dwellings and limited agriculture and animal keeping, as the existing zoning.

Development Plan. The applicant's past requests were for the R-4 zone with lots as small as 3,600 square-feet. The R-4 zone requires a Development Plan that would establish development standards and design guidelines for architectural styles, landscape, walls and fence for the project. The Development Plan is not a requirement for the R-1 zone. However, the project is subject to the Pedley Village Center Design Guidelines and Countywide Design Guidelines that would ensure quality development. Additionally, staff is considering recommending a condition of approval that would require the future homebuilder to propose architecture that would be consistent with previously submitted architecture styles.

NEIGHBORHOOD DESIGN.

The City of Jurupa Valley has two documents that provide recommended design guidelines and requirements for the project area. One document is the Pedley Village Center Design Guidelines that is specific to the Pedley area, and the other document is the Countywide Design Guidelines that is applicable City wide. Additionally, staff conducted a survey of two neighborhoods and developed recommended project siting criteria that was provided to the applicant. Staff has summarized these documents and provided analysis below.

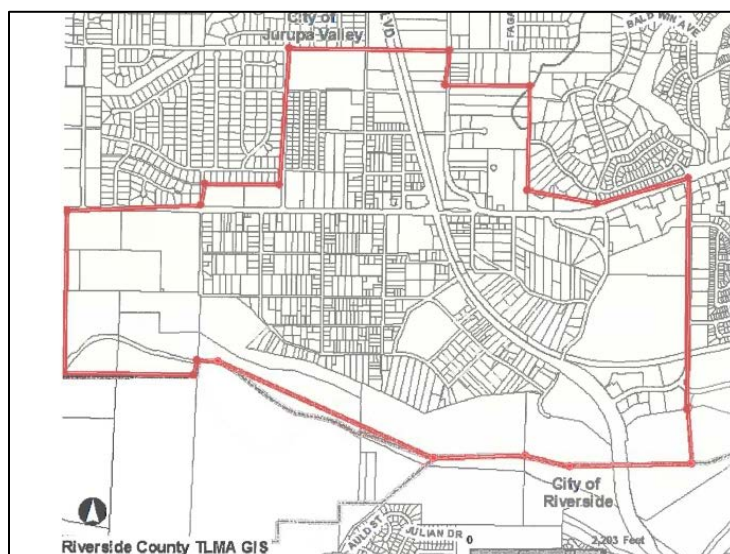
Pedley Village Center Design Guidelines

The proposed project is located within Pedley Village. The City Council adopted specific guidelines for the Pedley area to provide developers and landowners clear direction in the development of new neighborhoods within this town center. While the principles and guidelines are not regulations, the Pedley Village Center Design Guidelines states that developments with General Plan Amendments and/or Change of Zone request(s) that satisfy most or all of the guidelines and principles are more likely to be approved.

The Pedley Village Center Design Guidelines includes principles that should be used to guide decisions regarding General Plan changes or Change of Zones in the Pedley Village area. Amongst the principles are the following:

- Projects to reflect the rural heritage of the area
- Projects should focus on providing and maintaining high quality of life by use of amenities, attractions, views, walkability, experience, quality schools and services.
- Projects should create a strong emphasis on sense of place through cohesive development throughout the policy area.
- Projects should provide appropriate density for context.
- Housing should reflect types found in smaller, traditional neighborhoods and should include a mix of house sizes and types.

EXHIBIT C: PEDLEY VILLAGE CENTER DESIGN GUIDELINES



Furthermore, the Pedley Village Center Design Guidelines includes guidelines to support or implement the principles. For example, the Guidelines encourage rural or historic neighborhood architecture styles (e.g. Ranch, Farmhouse, Craftsman, or Bungalow styles), usable front porches and connectivity to existing neighborhoods and extensive shade trees in the parkways. These guidelines are intended to support the following general principles:

- Projects should be located within comfortable walking and biking distance to a neighborhood center with basic commercial amenities.
- Residential development should be designed to connect streets, walkways and trails with existing adjacent neighborhoods. Gated residential communities are discouraged.

The Guidelines recommended use of indigenous landscaping species such as Oak and Sycamore trees and recommends walls that use river rock or layered stone walls.

The Guidelines also provided recommendations for the public right-of-way including pedestrian and equestrian connectivity to activity centers, limited use of cul-de-sacs, implementation of traffic calming measures such as narrow streets and bulbed corners, and utilization of parkways with extensive use of shade trees situated between streets and sidewalks.

Staff has reviewed the project for consistency with the Pedley Village Design Guidelines and finds that the project is mostly consistent with the Guidelines. Staff believes the project should be designed with small house larger setbacks and architectural design consistent with the rural heritage of the area. The project is within comfortable walking and biking distance to the Pedley Metro Link Station and commercial development on Limonite Avenue, and the development is designed to connect to existing neighborhoods. Staff will conduct a more detailed analysis of the project upon submittal of materials for a public hearing.

Countywide Standards and Design Guidelines

The project must be consistent with the Countywide Standards and Design Guidelines. The Guidelines require advance quality and visually distinctive development throughout the City.

Where these standards conflict with the previously mentioned Pedley Village Center Design Guidelines, the Pedley Guidelines take precedence.

The Countywide Standards and Design Guidelines provide standards for areas including:

- Building design (articulation of building facades, varied roof planes, 360 – degree architecture.
- Street and streetscape design
- Landscape design
- Walls and fencing
- Lighting

Because the proposal is for an R-1 zone and a Development Plan is not required, the homebuilder must submit architectural plans, landscape plans, and walls and fence plans that meet the requirements of the Countywide Standards and Design Guidelines.

Staff has reviewed the project for consistency with the Countywide Standards and found that the project is mostly consistent with the stated standards and guidelines because the street layout is a curvilinear street and provides three short cul-de-sacs that are encouraged by the Guidelines.

Although the applicant has not yet decided on the architecture of the units and has expressed a desire to maintain design flexibility, the applicant has provided elevations of one product they have considered building that is attached as an exhibit.

The unit design is mostly consistent with the Countywide guidelines in that the units provide articulation of building facades, varied roof planes, and materials and colors. The units would need to provide variable front yard setbacks, multiple floor plans, and variation in garage door entrances that cannot yet be determined by the information provided. A different style may also be required to comply with the Pedley Village Center Design Guidelines for rural or historic neighborhood architectural styles.

The plan does have inconsistencies with the guidelines, as some lots are narrower than the 65' wide minimum stated in the Guidelines, the sidewalks are not meandering, and there are no walls shown that are required by the Guidelines. The guidelines do provide Council and Planning Commission the authority to consider variations to the standards.

Planning Department Lot to Home Size Study

Staff surveyed neighborhoods including Sky Country and Jurupa Hills as examples of traditional Jurupa Valley neighborhood development. From observations, Staff developed guidelines for older style neighborhoods and houses with the feel of a long time ago.

The guidelines were provided to the applicant as a reference to assist with designing this project. The guidelines siting criteria include:

- Lot sizes ranging from 10,000 to 20,000 square-feet in size
- Floor Area Ratios (FAR) at 50% or less
- Increased building setbacks
 - Front yard 25 feet

- Side yard 10 feet on one side
- Garage and driveway variation (location and orientation)
- House floor plans wider than deep
- Single-story houses

While the current proposal does not provide the necessary information to demonstrate consistency with the Staff guidelines, Staff did review the Guidelines with the applicant who provided multiple elevations that generally demonstrated consistency because the houses provided reduced floor area ratios resulting in more open space, front setbacks ranging from 5-10 feet on the side yard, and 25-foot front yard setbacks. The applicant also provided varied garage entrances.

DISCUSSION TOPICS

- Proposed Density Medium Density Residential
- Proposed R-1 zone with minimum lot size of 7,200 square-feet
- Compatibility of project with existing neighborhood
- One-story to two-story house ratios and site locations
- Traditional Neighborhood Design
 - Quality Architecture and Landscaping
 - Site Layout
- Circulation, Access Points, and Neighborhood Connectivity
- Amenities

CONCLUSION

Staff has determined that the proposed general plan amendment, zoning change, and tentative tract map seem to substantially conform to the existing neighborhood, and that the proposed development is generally consistent with proposed MDR General Plan Land Use Designation and the proposed R-1 zone.

Furthermore, the project mostly complies with the Pedley Village Center Design Guidelines and the Countywide Standards and Design Guidelines. The City Council and Planning Commission may consider approving variations to these standards as part of their hearing process.

Staff is encouraged by the changes and feels the project is going in the right direction. Staff will conduct a more detailed review and analysis upon formal submittal for a public hearing by the applicant.

NEXT STEPS. The next steps or milestones of the project are (1) interagency review; (2) complete the preparation of the CEQA document; (3) public review of the CEQA document; (4) public hearings by Planning Commissions and City Council.

Prepared by:

Submitted by:

Michael Fellows, AICP
Senior Planner

Thomas G. Merrell, AICP
Planning Director

Attachments:

1. Applicant Narrative
2. Conceptual Site Plan
3. Pedley Village Center Design Guidelines
4. Countywide Design Guidelines
5. Planning Department Lot to Home Size Study
6. Conceptual Elevations

ATTACHMENT NO. 1

Applicant's Narrative

Project Narrative

Pedley Village is a proposed 74 Lot R1 subdivision on approximately 25.6 acres of vacant land located east of Pedley Rd. and north of Limonite Ave. on sloping terrain. Lots sizes range from a minimum of 7212 sf to 19,131 sf. One third of the Lot sizes are greater than 8,000 sf. The minimum lot width is 62' and the minimum lot depth is 101'. All pad areas noted on the site are flat surfaces. Sloped area are not included in this calculation.

The topography of the site ranges from relatively flat to hilly. The elevation ranges from 732 msl along Pedley Road to approximately 940 msl at the eastern portion. The eastern portion of the project comprising approximately 6 acres is sloped at 4:1 or greater and no development is proposed in this area. The adjacent land uses are; To the North, single family residential; To the east, vacant and single family residential; To the south, vacant and commercial across Limonite; To the west, Single Family Residential and the Metrolink Station.

The current land use designation for the property is low density residential and the proposed designation is MHDR. The zoning designation is Rural Residential and Light Agricultural and the proposed designation is R1.

There are three proposed points of access to the project. (1) Directly from Pedley Rd. on the northwest; (2) From an improved 60th Street on the southwest and (3) from Yearling Way on the east. Streets are proposed to be public streets with a 56' right of way. Access to future developments to the North and South are provided.

This project, MA 14314, was originally submitted in October, 2014 as an R4 development comprising 177 small lot single family homes within a gated community on 39.5 acres. A draft initial study and MMP was prepared in March, 2015. The project was revised in 2018 as an R4 development of 90 units on 25.6 acres, the same APNs as the present submittal. Nova Homes is resubmitting MA 14314 as an R1 project without product design to maintain the option of building our product or selling the entitled project to a merchant builder. In the event of sale, the builder will want their own product and will proceed through the city's design review process.

ATTACHMENT NO. 2

Conceptual Site Plan



SCALE 1"=40'

PROPOSED R-1 SITE PLAN FOR

PEDLEY VILLAGE

74 LOTS IN JURUPA VALLEY, CA 91752

DATE: 05/19/2020

ATTACHMENT NO. 3

Pedley Village Center Design Guidelines

Pedley Village Center Design Guidelines

City Council Resolution 2015-48

September 17, 2015

1.0 INTRODUCTION

The purpose of these guidelines is to provide land owners and developers clear direction for the creation of new neighborhoods and commercial projects in Pedley Village. The principles and guidelines are non-binding and are not regulations. Instead, they serve to establish the basis for constructive and collaborative land planning by the City and development applicants.

The application of these guidelines may differ depending on the location and type of development proposed. The City will consider all development proposals regardless of the degree to which they follow these guidelines. However, General Plan amendments or rezoning proposals that satisfy most or all of these guidelines and principles are more likely to be approved.

2.0 GENERAL PRINCIPLES

The following principles should guide decisions regarding zoning or General Plan changes in the Pedley Village area. Developers are encouraged to design projects such that they incorporate as many of these principles as possible.

LAND USE

- Design elements of new projects should reflect the rural heritage of the area.
- Civic center should be focused on a public amenity, such as a park or plaza.
- Office uses, if any, should be concentrated near civic center.
- Public uses/buildings should be concentrated near civic center (such as schools, libraries, etc.).
- Neighborhoods and civic center should be located within a comfortable walking and biking distance to a neighborhood center with basic commercial amenities, such as shops, services and restaurants.
- Parks and plazas should be integrated into neighborhoods and centers.
- Primary strategy around civic center should be to create a “town center” or “Main Street,” with slow traffic, broad sidewalks, and thriving retail and dining that serves local residents.
- Vertical mixed use, if any, should be concentrated around retail centers.
- Residential density should be concentrated around activity centers such as transit stops and retail centers to promote and encourage walkability.
- New residential developments should be designed to connect streets, walkways and trails with existing adjacent neighborhoods. Gated residential communities are discouraged, and if approved should not prevent social interaction and vehicular circulation with existing adjacent neighborhoods.
- Strategy to attract new residents and businesses should focus on providing and maintaining high quality of life (amenities, attractions, views, walkability, experience, quality schools and services).

- Should be a strong emphasis on creating a sense of place through cohesive development throughout the policy area.
- Abundant open space (plazas, parks, etc.) within at least ¼ mile of all residences. 1/8 of mile distance ideal

TRANSPORTATION

- Transportation network comprised of smaller blocks, high intersection density, and few cul-de-sacs with strong connectivity to village commercial center and train station.
- Roads/rights-of-way should be designed to encourage pedestrian use.
 - Narrow lanes (vs. narrow roads/rights-of-way).
 - Striped bike lanes or off road bike paths.
 - Pedestrian buffers comprised of parking lanes and planting strips (no curb adjacent sidewalks).
 - Abundant crosswalks throughout the area.
- Mid-block crossings, through-block walkways and curb extensions should be encouraged to slow traffic and protect the pedestrian.
- Grade-separated interchange of Van Buren/Limonite should be redesigned to be a node, not a barrier.
- Limit commercial driveways and encourage shared parking strategies.
- Public transit amenities are accommodated and included.

3.0 DESIGN GUIDELINES

The following guidelines are encouraged for new projects in Pedley Village. The City will give a greater weight to projects that incorporate the most of these guidelines into the project design.

GENERAL DEVELOPMENT GUIDELINES

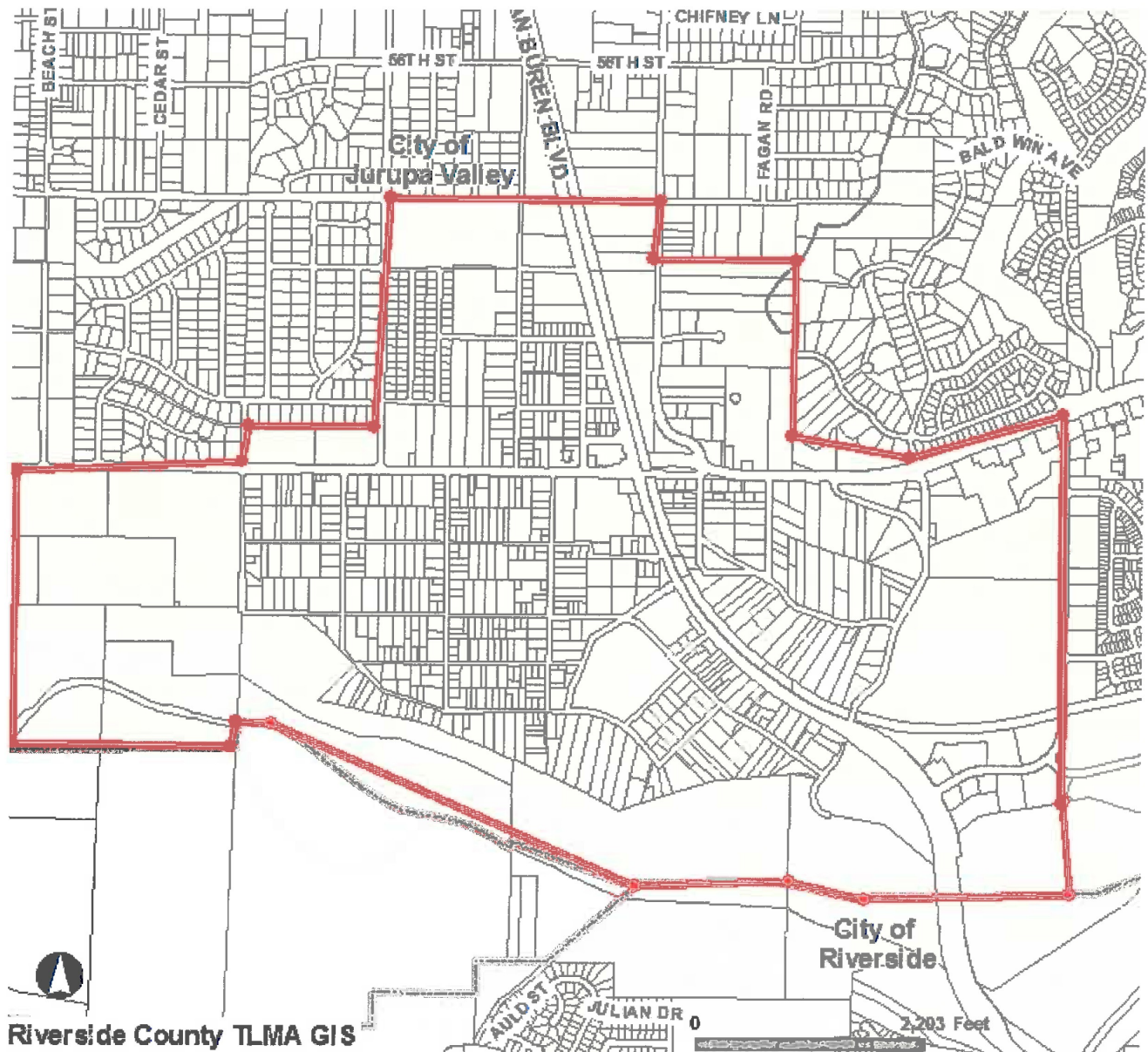
- Commercial buildings should be oriented to the street
 - Few or no parking lots separating buildings from street
 - Shallow front yards
 - Shallow or no front yard setbacks for commercial
 - Outdoor cafes and street furniture should be encouraged in commercial areas
- Neighborhood orientation
 - Diversity of housing
 - Many amenities within easy walking distance of homes
 - Appropriate density for context
 - Multi-family residential limited to three stories
 - Broad mix of housing types and designs in every neighborhood; mix of housing types on each block ideal
 - Housing should reflect types found in smaller, traditional neighborhoods and should include mix of house sizes, duplexes, triplexes, quadplexes, and row houses.
 - Auto-oriented forms such as apartment complexes and “six-packs” are discouraged
 - Built as neighborhoods and centers, not as subdivisions/projects
- Non-residential
 - Neighborhood scale retail primary strategy for most areas
 - Mixed-use preferred, but can be horizontally mixed (vertically mixed unlikely to be successful in near term or ever)
 - Non-retail allowed, but not focus of strategy in most areas

- Transit station area
 - Surface parking
 - Parking is designed so as not to be focus of station
 - Station-serving retail in walking distance of station
- A range of harmonious and attractive historically indigenous architectural styles
- Sound wall lined streets unacceptable
- Extensive tree cover to reduce impact of hot summers: 50% cover within five years of planting for sidewalks, roads (excluding intersections), and parking lots.
- Fruit trees and vines should be considered for front and rear yard areas.

RESIDENTIAL DESIGN GUIDELINES

- Allow for spacious yards, make house fit the lot - ratio of lot size to house size (for example 35% 1st floor + 15% 2nd floor = 2,100 sq. ft. habitable area and 2,500 sq. ft. with a 400 sq. ft. two-car garage).
- Amount of unpaved open space per lot (of at least 50% of total site area).
- Rural or historic neighborhood style architecture (ranch, farmhouse, craftsman, bungalow, etc.).
- Variable setbacks, semi-rural character with gentle curvilinear streets
 - R-1 or larger lots: 25' – 30' front setback or 10' side yard with 20' setback
 - R4 (3,500 sq. ft. or larger) lots: 15' – 20' front setback or 12' front setback for 50% of the width of the structure with 7.5' side yard setback
- Avoid street view dominated by garage doors (side facing garages, rear yard garages, secure alley access, etc.)
- Narrow street with 10' parkway to accommodate a 6' wide landscape area adjacent to the curb & 6' sidewalk or DG trail
- River rock or layered stone walls
- Indigenous landscaping (Oaks, Sycamores, etc.)
- Pedestrian / equestrian connectivity to activity centers (commercial, church, park, staging areas, etc.)
- Neighborhood / social design
 - Usable front porches
 - Extensive shade trees in parkways
 - Minimize cul de sac design
 - Connectivity to existing neighborhoods
 - Allow room on each lot for additions (patio, bedroom, etc.)
 - Connectivity/permeability throughout neighborhoods
 - Minimize length of blocks (interrupt with streets, alleyways, trails, bike paths, open space corridors, etc.)
- Common areas within the neighborhood with a provision to keep animals, community gardens, RV parking, etc.
- Accommodation for existing and planned equestrian lifestyle, including such features as provision for trails, equestrian facilities, extension of equestrian routes to the Santa Ana River, etc.
- Adequate guest parking
- Preservation of open space / natural features
- Unique system to carry storm water that is consistent with both rural, small town character and state of the art engineering practice as determined by the City Engineer
- Special design features
 - Mailboxes
 - Trash pickup areas
 - Entry statement
 - Enriched pavement
 - Traffic calming

4.0 PEDLEY VILLAGE CENTER BOUNDARY



ATTACHMENT NO. 4

County-wide Design Guidelines & Design & Landscape
Guidelines for Second Supervisorial District

Location: [Planning Home](#) > [Development Process](#) > [Design Guidelines](#) > Countywide Design Standards & Guidelines

Riverside County - Countywide Design Standards & Guidelines



COUNTY OF RIVERSIDE
Adopted: January 13, 2004
COUNTY OF RIVERSIDE
ADOPTED BY
RIVERSIDE COUNTY BOARD OF SUPERVISORS
ON JANUARY 13, 2004

These Standards are based upon and include provisions from the following:
Standards for the Third and Fifth Supervisorial District as adopted by Riverside County Board of Supervisors on July 17, 2001

and

Standards for the Second Supervisorial District adopted by Riverside County Board of Supervisors on September 15, 1998. (Revised October 23, 1998. Revised August 27, 2002. Revised October 8, 2002)

and

Draft Design Standards for the Fourth Supervisorial District

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- Exhibit J: Commercial Arterial Highway
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APPENDIX B - Additional Photographic Examples

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I. INTRODUCTION

The physical character of our communities cannot be divorced from the values they respect. Sooner or later, these values manifest themselves in how our development decisions are made and how those decisions shape our communities. Where our values and actions are synchronized, our communities prosper; where they are in

conflict, so are the communities. (Riverside County Integrated Plan (RCIP), 2002)

Riverside County, like a quilt, is a composite of differing lifestyles connected together through common strands. The RCIP and subsequent General Plan are designed to ensure that the quilt retains its core identity by guiding future growth that respects the diversity of the region, shapes and configures development in relation to the land it occupies and ensures that its various parts relate to its whole. This unity of form also promotes innovative development that actively accommodates a balance of housing, employment, and service opportunities for the citizenry.

The Countywide Design Standards and Guidelines for the County of Riverside (hereinafter "Guidelines") are for the use of those property owners and design professionals submitting development applications to the County of Riverside Planning Department. The following design guidelines and standards have been developed by the County of Riverside with assistance of representatives from several of the municipalities in the County. In addition, it is intended that this document will provide the baseline criteria, in which to measure and to evaluate justifications for potential density bonuses under the RCIP Incentives Program. Where certain standards apply specifically to one Supervisorial District, that notation appears in the document.

This document includes both design "standards" and design "guidelines". Design standards are considered mandatory requirements and usually include the term "shall". Standards are often quantitative or have performance criteria that can be measured. Design guidelines are more generalized statements, alternatives or illustrations of what is expected and encouraged. In this sense, the "guidelines" may offer ways to meet a certain "standard". The degree to which the design guidelines are met is subject to a finding or determination made by the County. Variations to either the design standards or guidelines may be considered by the Planning Commission or Board of Supervisors in the review of any project.

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A. Design Strategies

To successfully shape the County's future, piecemeal regulations must be replaced by overall strategies, guidelines and standards that maintain base values and promote connectivity. Design strategies have been developed to provide for the continuous evolution of urban and rural form consistent with the sense of knowing where one is, the enjoyment in moving through urban/rural environments and providing the opportunity to experience physical and visual variety and diversity throughout the County. Enhancing community edges, landmarks, districts, nodes and paths can strengthen the physical and visual experiences creating this composite image of Riverside County. Design strategies include:

- o Recognizing each community in the County as an identifiable and unique place
- o Defining corridors that, on the one hand link communities, but on the other create distinctive edges that separate and protect each community's qualities and character
- o Promoting interesting juxtapositions that contrast boundaries between distinctly different characteristics of existing neighborhoods
- o Identifying and protecting commonly used view points, view paths, natural panoramas and views of major community landmarks
- o Protecting, repairing, restoring and interconnecting natural watercourses and associated riparian habitat which serve as a unifying element
- o Planning and designing streets and thoroughfares which are visually integrated into the landscape by promoting a distinct sense of district, neighborhood and place
- o Preserving natural and built landmarks which create a special or unique community flavor
- o Protecting and preserving buildings, structures and established public places which are historically and culturally significant to local communities and County institutions
- o Planning and designing new neighborhoods in ways that make them visually distinctive / identifiable and please the senses

In an attempt to advance quality and visually distinctive development responsive to the natural and built environment of Riverside County, the Board of Supervisors has adopted these Residential Design Standards & Guidelines. These standards and guidelines have been crafted to assist those individuals submitting development applications to better understand the design context from which the County will evaluate project submittals.

The Planning Commission or the Board of Supervisors may consider variations to the design standards as part of their hearing process. Staff may modify design guidelines during the project review process if alternatives meet the intent or context of the adopted guidelines. However, changes to the guidelines will be noted as part of staff reports to the Hearing Officer, Planning Commission or Board of Supervisors.

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B. Planning Objectives

Based on the Design Strategies outlined in the RCIP and Riverside County General Plan, it is the County's desire to advance several specific development goals including:

- o Ensure that new homes are constructed in neighborhoods that are interesting and varied in appearance
- o Utilizing building materials and enhanced landscaping to promote a look of quality, both at the time of initial occupancy, as well as in future years
- o Encouraging efficient use of land while creating high quality communities that will maintain their economic values and long-term desirability as places to live and work
- o Incorporating conveniently located and accessible neighborhood parks, trails, and open space
- o Providing functional public access to recreational opportunities in relation to the overall open space system

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C. Applicability

Provisions of the Riverside County Residential Design Standards & Guidelines supplement the minimum specifications for land development in Riverside County Ordinance No. 348, and will be incorporated by reference in all applicable development Conditions of Approval. The Standards & Guidelines pertain to the following types of projects located within the County:

- o The "Residential Standards" in this document are required for any residential subdivision with a minimum lot size of one-half acre or less, and is located in the following residential zoning categories: R-1, R-1A, R-2, R-2A, R-3, R-3A, R-4 and R-6 and the following General Plan Land Use Designations: Low Density Residential (0.5 acre minimum), Medium Density Residential (2-5 dwelling units per acre), Medium High Density Residential (5-8 dwelling units per acre), High Density Residential (8-14 dwelling units per acre), Very High Density Residential (14-20 dwelling units per acre), Highest Density Residential (20+ dwelling units per acre).
- o Where a residential lot is smaller than 7,200 square feet, the Standards & Guidelines related to unit location, setbacks, % of lot coverage and street frontage may be waived *if* the project applicants demonstrate that they have addressed the Planning Objectives in Paragraph B as well as providing a sense of privacy and personal space for each residential unit.
- o The Residential Design Standards & Guidelines will be evaluated for effectiveness and revised as appropriate in conjunction with the pending update of the Riverside County Ordinance 348

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D. Exceptions

The County Design Standards & Guidelines shall apply to all applicable development projects unless:

- o Other standards have been imposed upon an individual development project by the Planning Commission and/or the Board of Supervisors
- o Other standards have been adopted by the Board of Supervisors relative to a particular designated area of a District (e.g., Community Plans / Specific Plans)
- o Physical constraints of an individual site make the application of a particular standard or guideline impractical

Commercial / Industrial Design Standards & Guidelines

Design Standards & Guidelines for Commercial/Industrial development and Multiple-Family Residential are currently being drafted and will be published in separate documents.

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II. RESIDENTIAL

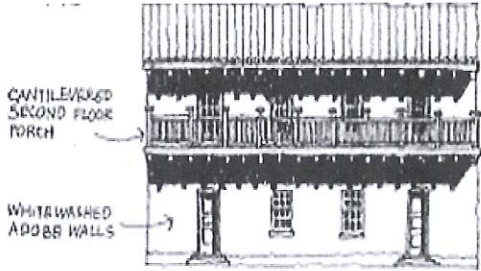
A. Design Style

A design style or a common palette of architectural features is encouraged for each neighborhood or community usually through a planned development, Specific Plan or the Incentive Program. A design style is not required; however, consistency in the design features and use of materials is encouraged.





Craftsman Style



Monterrey Style

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Queen Anne Style

B. Articulation of Building Facades

Long unarticulated building facades shall be avoided by incorporating varying setbacks of the building footprint in a varied fashion along the residential street. Projecting architectural features such as bowed or bay windows, columns, offset roof planes, and similar features should be used to create both vertical and horizontal articulation on the building elevations. These design elements shall also be included on the rear facades and sides of homes which are adjacent to or visible from streets or open spaces. Houses shall be arranged in a manner that creates a harmonious, varied appearance of building heights and setbacks.

Special design features, such as covered front porches, garage placement to rear of a lot, use of multiple floor plans, window and door articulation, extended overhangs and building edge treatments (such as arbors, awnings or trellises) are encouraged. Windows should be framed with compatible materials to create well-defined "edge" treatments and be designed to provide distinctive shadows on the building facades..These design features may be accomplished in a manner similar to the following photographic examples.



Recessed Windows

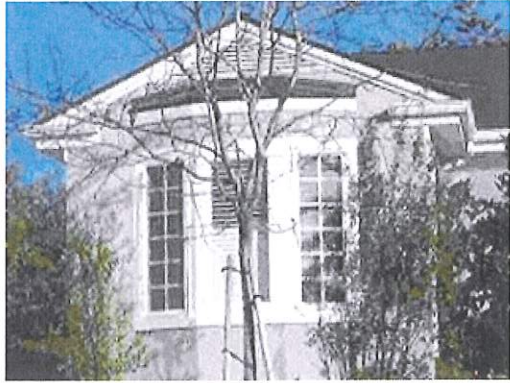


Entry Features, porch and setback garage



Front Porch with Offsetting Planes

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Bow or Bay Windows

C. Varied Roof Planes

Roof articulation may be achieved by changes in plane or by the use of traditional roof forms such as gables, hips, and dormers. A-frame type roofs, and mansard roofs are discouraged unless a part of a coordinated design theme style.

**Flat Roof/Contemporary Style****Multiple Gables****Varied Roof Forms**[Back to Top](#)**D. 360 Degree Architecture**

Architectural design treatments such as building offsets, recessed windows, trellises, overhangs, or other features shall occur on those facades of the residence that are visible from streets or open spaces.

[Back to Top](#)**E. Streetscape Design**[Back to Top](#)**1. Varied Building Heights/Rooflines - Minimum Number of Single Story Units**



Houses and garages shall be arranged in a manner that creates a harmonious, varied appearance of building heights. All projects of ten or more residential lots should include at least one single-story floor plan. In the Fourth District, single-story homes should be located on the perimeter of the development area.



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2. Multiple Floor Plans and Elevations

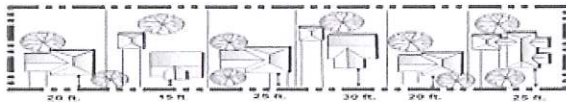
Floor Plans. At a minimum there should be three different floor plans for tract maps with 50 or less units. Reverse floor plans are not included as different floor plan. For tract maps with from 51 to 99 units, there shall be at least four different floor plans. Tract maps with 100 units or more shall provide five different floor plans and an additional floor plan for every 100 dwelling units above 100 units. For development projects that are to be constructed in phases, a phasing plan shall be submitted to assure that the requirements for the number of floor plans is being met.

Elevations. Each floor plan shall have at least three distinct elevations. One elevation shall not be repeated more than each fourth house. Please note that adding or deleting false shutters, or similar types of minimal elevation changes will not suffice as one of the required distinct elevations.

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3. Variable Front Yard Setbacks

Homes and garages shall be placed at varying distances from the street and have varying entry locations. Front yard setbacks shall average 20 feet and may be varied by up to 25%, in increments of any size. The minimum front yard setback shall not be less than 15 feet.



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4. Colors and Materials

The colors and materials on adjacent residential structures should be varied to establish a separate identity for the dwellings. A variety of colors and textures of building materials is encouraged, while maintaining overall design continuity in the neighborhood. Color sample boards shall be submitted as a part of the application and review process.





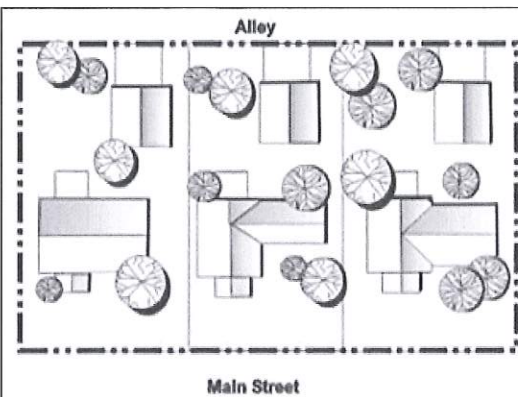
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F. Garage Location and Design

The visual impact of garages should be reduced by the use of additional setback from the curb face where garage doors must face the street or by the use of side-facing or rear garages (including detached garages) where possible. Residential plans that feature attached garage designs whose entries are from the side ("side-loaded garages") are also encouraged. Where more than two garage doors face the street, the third garage door should have an increased setback or offset. Setbacks for the side-loaded garages shall be consistent with those specified in Ordinance 348. Garage access from an alley is

also encouraged. All new residences with garages shall be provided with roll-up (i.e. on tracks) garage doors (either sectional wood or steel). At least 25% of the garage doors in any project should have windows. Building and lot layouts shall conform to Riverside County standards regarding minimum garage setbacks from access streets, minimum yard requirements, and maximum height. Detached garages located at the rear of the property, and "drive through" or "tandem" garages are also encouraged.



Garages with Alley Access



Side-facing Garage Door



Offset Garage Doors



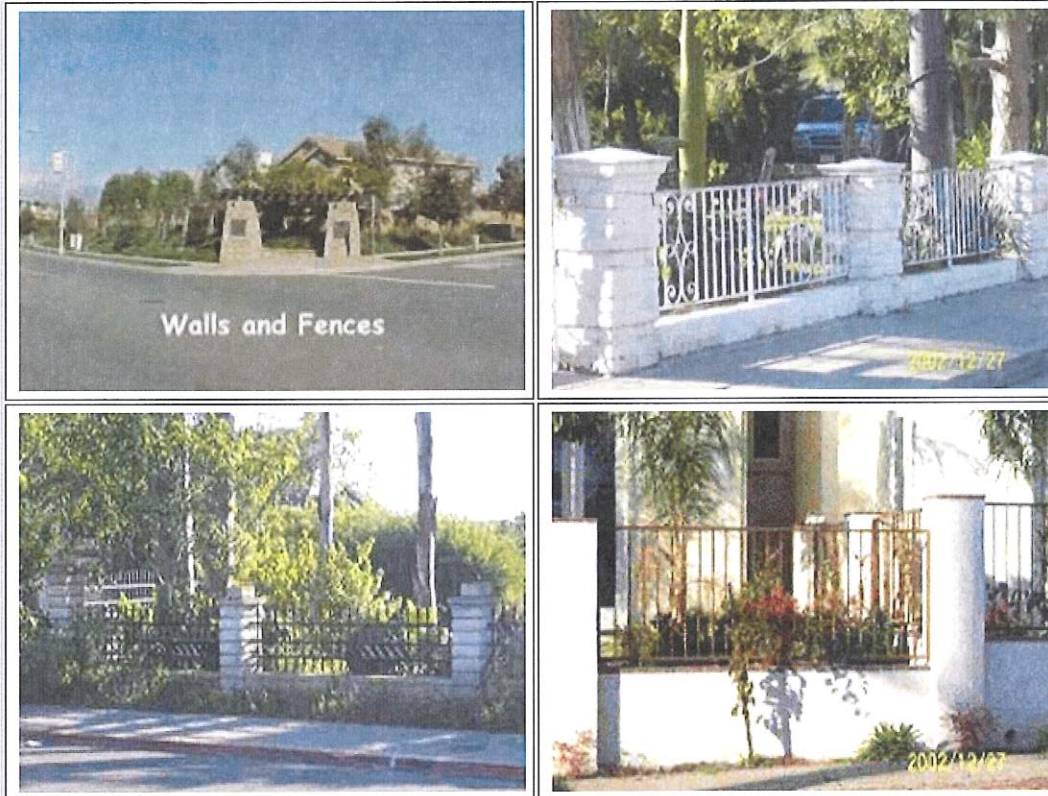
Decorative Garage Doors with windows

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G. Walls and Fencing. Walls and Fencing shall be designed in accordance with the following standards:

- o Front yard return walls shall be constructed of masonry (slump stone or material of similar appearance, maintenance, and structural durability) and shall be a minimum of five feet in height.
- o Side yard gates are required on one side of front yard, and shall be constructed of wrought iron, wood, vinyl or tubular steel. Side and rear yard fencing shall be masonry, slump stone

iron, wood, vinyl, or casual steel. Side and rear yard fencing shall be masonry, slump stone, or other material of similar appearance, maintenance, and structural durability. Chain link fencing is not permitted. All construction must be of good quality and sufficient durability with an approved stain and/or sealant to minimize water staining. (Applicants shall provide specifications which shall be approved by the Planning Department).



All new residences constructed on lots of less than 20,000 square feet shall include rear and side yard fencing constructed of masonry block which is a minimum of five (5) feet in height. The maximum height of walls or fencing shall be six (6) feet in height. In the desert areas, block walls are discouraged on the perimeter in favor of increased setbacks with extensive drought tolerant landscaping, berms and fencing such as split rails.

- o Except for the desert areas, all lots having rear and/or side yards facing local streets or otherwise open to public view shall have fences or walls constructed of decorative block, stucco, or other attractive and durable material.
- o Corner lots shall be constructed with wrap-around decorative block wall returns. (Note: exceptions for the desert area discussed above.)
- o Side yard gates are required on one side of the home and shall be constructed of powder-coated wrought iron or tubular steel.
- o Wrought iron or tubular steel fence sections may be included within tracts where view opportunities and/or terrain warrant its use. Where privacy of views is not an issue, tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities
- o Wrought iron, tubular steel, wood, vinyl, or chain link fences or gates are allowed where a residence is being constructed on a lot of at least 20,000 square feet.
- o Wood fencing, where permitted, shall be constructed with galvanized steel posts set in concrete to a minimum depth of 24 inches with domed caps. Wood fencing or other like-material walls are not permitted along reverse frontage areas.
- o Community perimeter or theme walls shall be solid walls located where view opportunities are not available. Plain concrete block walls are not permitted along reverse frontage areas. Brick, slump stone, tile, textured concrete, stucco on masonry or steel framing or other material walls which require little or no maintenance are required. Use of ivy or other vegetative material to soften and punctuate the appearance of walls and reduce the likelihood of graffiti is strongly encouraged. The use of capping in conjunction with other vertical design elements to temper the top line of the wall is also encouraged.
- o Swimming pool fencing shall meet all County safety provisions of the Building Code. Fences around swimming pools shall have an outside surface free of provisions, cavities, or other physical characteristics that would serve as handholds or footholds that could enable a child below the age of five to climb.

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H. Lighting

Outdoor lighting, other than street lighting, shall be low to the ground or shielded and hooded to avoid shining onto adjacent properties and streets. Street lighting standards are addressed by other County Regulations. Ordinance No. 655 (45 miles from Mt. Palomar) lighting requirements shall be observed where applicable. Illuminated street address lighting fixtures shall be installed on the front yard side of each dwelling to facilitate location of the street address numbers for safety and public convenience and to compensate for dark sky lighting considerations. "Night skies" provisions such as lower lighting levels, backlit addresses and street signs, and other indirect lighting methods shall be required in the desert areas and Mt. Palomar District

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I. General Site Plan Requirements

Building and lot layouts shall conform to Riverside County standards regarding minimum garage setbacks from access streets, minimum yard requirements, maximum height requirements, and other county standards, unless specific variances are granted.

The following information shall be submitted with the building permits application and as a part of the Final Site Plan of Development:

- o building footprints for each lot which identify the model number of the home shall be included on the tract map;
- o front, rear, and side elevations of all facades of all models to be constructed within the tract shall be included on separate sheets;
- o front, rear, and side yard setbacks of all homes shall be shown on the tract map
- o typical landscape plans for each model (including all plant names/varieties and container sizes)
- o landscape plans for reverse frontages and neighborhood entry statements and medians (including all plant names/varieties and container sizes).
- o Material and color sample boards shall be provided.

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J. Mailbox Design

Installation of cast iron, cast aluminum, brick, or slump stone-encased curbside mailboxes are encouraged. Each mailbox installation shall conform to current United States Postal Service standards.



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K. Residential Design Features

1. All new residences should have at least one clean-burning fireplace. Fireplaces in the living room or family room areas are required in Supervisorial District Two.
2. Provision for solar heating/cooling equipment or other energy conservation or saving equipment is encouraged. As required in Ordinance 460, subdivision layout and design shall address future passive or natural heating and cooling opportunities. Attention to the extreme heat conditions in the summer shall be viewed as a significant element in project review. Homes and buildings should be oriented to receive the greatest amount of afternoon shade or other protection from the sun. Lot size and configuration should consider future orientation of a structure to take advantage of shade and prevailing winds.
3. In the desert regions evaporative ("swamp") coolers are required as well as refrigerated air conditioners. Solar heating and saline swimming pools are encouraged in the desert areas.

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L. Residential Lot Design

All Schedule "A" residential tracts within the Districts shall be designed consistent with the following design standards.

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1. Schedule of Design Standards

Description	For lots 7200 square feet or greater	For lots less than 7200 square feet
Minimum net usable area (See section L (5) below)	6500 sq. ft.	Not less than 85% of total area
Minimum lot widths (frontage) Variation of lot width is encouraged	65 ft. An average of seventy (70 feet) or wider of road frontage, as measured at the property line. (The average excludes lots fronting on cul-de-sacs or street knuckles)	50 ft. A minimum of fifty (50) percent of the lots within each tract should have fifty-five (55) feet or wider of road frontage, as measured at the property line.
Lot width at frontage on cul-de-sac lots or street knuckle (see note 1)	The minimum lot frontage on a knuckle or a cul-de-sac shall be 40 feet measured along the property line unless otherwise specified in the development standards of the zoning classification.	The minimum lot frontage on a knuckle or a cul-de-sac shall be 40 feet measured along the property line unless otherwise specified in the development standards of the zoning classification.
Minimum front yard setback for side-loaded garages	15 ft.	10 ft.
Recommended minimum depth of rear yards	20 ft.	15 ft.
Spacing between Structures ³	10 ft.	10 ft.
Notes to Schedule of Design Standards (1) For purposes of satisfying the minimum frontage requirement, corner lots with angle cuts shall be measured at their rear property line. (2) Planned Residential Development or Specific Plan or the Incentives Program provisions allow for smaller setbacks on a case by case basis, with minimum spacing determined by UBC requirements. (3) Yard encroachments permitted under Ordinance No. 348 may interrupt this spacing. However, on lots less than 7,200 square feet, such encroachment into the side yard may occur in only one side yard, and the side yard into which the gate opens must remain a minimum of five feet in width. (4) A patio and patio cover may extend into a rear yard by right up to 10 feet (no Planning permit required, only Building and Safety Department permit.) For all lots, swimming pools and swimming pool equipment may extend into the backyard, with a setback adjustment, to within five feet of the property line.		

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2. Minimum Lot size

The minimum residential lot size within a Schedule "A" housing tract should be no smaller than 7,200 square feet. Reductions in the lot size may be permitted only through a discretionary review process. Projects located within a Specific Plan or Planned Residential Development or participating in the Incentives Program may have reduced lot areas based upon the quality of the design and the provision of additional open space areas, parks or other exceptional public improvements or amenities. The lot area should not be less than 5,000 square feet for a detached single-family residential unit in the (2-5 du/acre) Medium Density Residential designation. For developments in the Medium High Density

designation (5-8 du/acre) and the High Density designation (8-14 du/acre), the minimum lot size will be determined through the discretionary review process and will be based upon the types of housing products proposed, and the specific amenities to be provided.

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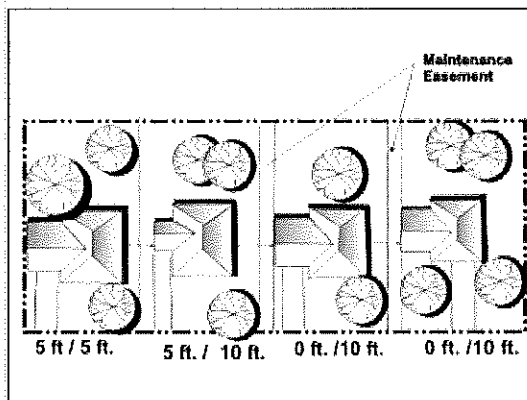
3. Maximum Lot Coverage

No residential lot within a Schedule "A" housing tract should have a lot coverage of greater than 50% (including the garage).

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4. Minimum Spacing Between Structures

Side yards should be varied to add interest and usable space, however, the minimum spacing between two structures shall be ten feet. In the case of zero lot line developments, a three (3) foot maintenance easement shall be provided.

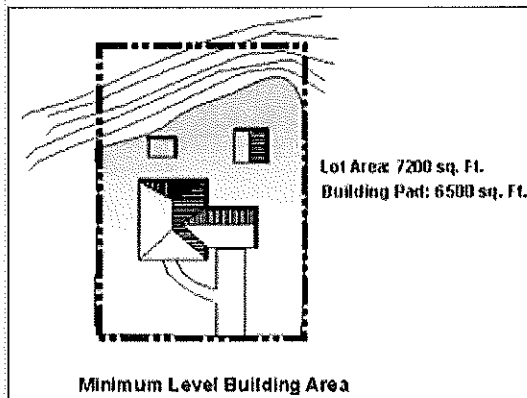


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5. Minimum Net Usable Area

For projects with lots of 7200 square feet or greater, the minimum net usable area for development should be 6,500 square foot pads or twenty foot level rear yards. Side yards shall be a minimum of five feet level on one side with no encroachments and the opposite side yard shall be a minimum of five feet with limited encroachments (three feet clear). Usable areas of less than 6500 square feet may be permitted through a specific plan, planned development application or through the Incentives Program. For lots with steep topography, the minimum net usable area shall be determined by the Planning Director based upon the site constraints analysis in order to minimize disturbance to

the sloped areas. The site design should minimize cut and fill as much as possible.



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M. Watercourses and Drainage

The planning and design of residential communities should protect the natural land forms watercourses and drainage patterns of the site. Consideration should be given to linear parks and enhancement of the edges along watercourses and drainage ways. Efforts should be made to protect and preserve the natural vegetation along watercourses and to re-vegetate degraded areas.

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N. Recreational Vehicle Parking

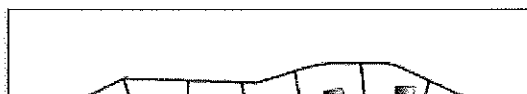
1. No recreational vehicle shall be stored in the front yard, or on the driveway in the front of any residential structure.

2. The storage of boats, camper trailers, or other watercraft or non-commercial vehicle may be permitted in the side yard so long as it is located behind an opaque wall, fence or gate. A paved parking surface is required.

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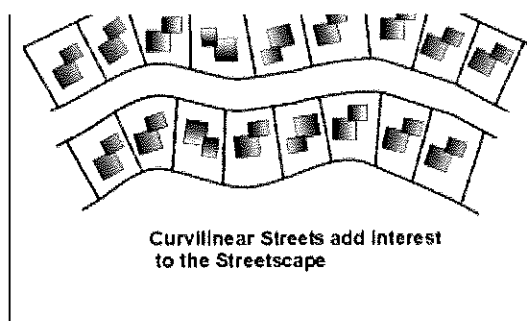
III. RESIDENTIAL STREET DESIGN

Residential streets shall be designed with the goal of facilitating the desired general residential design concepts. The following elements shall be used to accomplish this goal:



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A. Street Pattern - Curvilinear and Grid Street Design



The design of the overall street pattern should present a variety of streetscapes, offer various driving and pedestrian experiences, clearly distinguish between streets of varying purposes and carrying capacities and ensure safe, walkable local neighborhoods. Curvilinear streets offer an ever-changing scene while straight streets offer concentrated focus and landmark/vista opportunities. Either may be permissible. Grids, particularly with short, walkable blocks are encouraged as are traffic calming features associated with neighborhood streets such as chicanes, chokers or bulbs, T-intersections, diverters and round-a-bouts. To

the extent possible, direct connections with adjoining properties and projects are encouraged to alleviate congestion on arterials and secondary highways. All applicants are requested to consult with Transportation and Planning Staff concerning an acceptable street design concept. Examples of acceptable designs are available upon request. Projects are encouraged to be designed with efficient street circulation patterns that provide visual interest and creativity to the subdivision design.

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B. Street Width Reductions

The County General Plan and ordinances provide for local roads (36-foot wide within a 56-foot right-of-way) which may serve to reduce speeds in residential areas and encourage pedestrian use, while providing for emergency vehicular access.

Within planned private communities, a further reduction in local street width may be appropriate, subject to the review and approval of the Transportation Department. In these instances, the private streets should have parking restrictions in place and enforced by a Home Owner's Association to assure that proper access for emergency vehicles is maintained at all times.

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C. Minimum Street, Median, Reverse Frontage, and Parkway Widths

The following table shows the minimum street, median, and parkway widths (refer to the Exhibit indicated in the Exhibit column for illustrated sections of these requirements). These standards are adopted as a part of the General Plan and are duplicated here as a convenient reference. Separate standards may be adopted for rural and mountainous areas.

Street Type	Total Width: ROW	Total Width: Curb to Curb	Median Width	Total Minimum Parkway Width per Side	Landscaping	Side walk	Exhibit
Local	56'	36'	Not required	10'	5'	5'	F
Collector	74'	44'	Not required	15'	10'	5'	G
Secondary	100'	64'	Not required	18'	13'	5' (1)	H
Major	118'	76'	12' Painted	21'	16'	5' (2)	I
Arterial (Commercial)	128'	86'	18'	21'	15'	6'	J
Arterial (Residential)	128'	86'	18' (3)	21'	16'	5' (2)	K
Urban Arterial (Commercial)	152'	110'	14'	21'	15'	6'	L
Urban Arterial (Residential)	152'	110'	14' (3)	21'	16'	5' (2)	M

(1) 5' Sidewalk in middle of 18' parkway
 (2) 5' Meandering sidewalk for 21' parkways
 (3) Curbed and landscaped medians

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D. Bus and Transit - Related Facilities

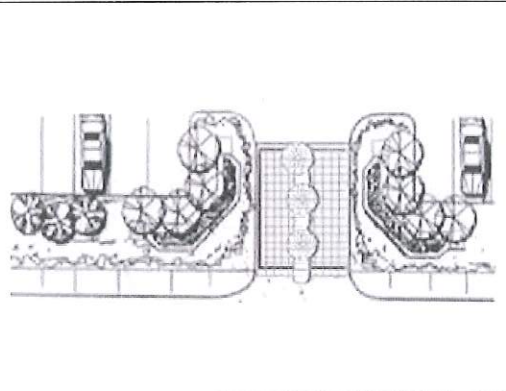
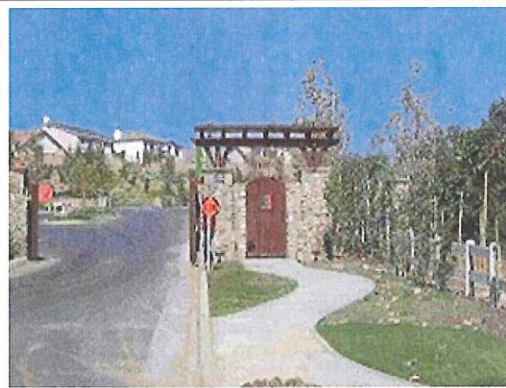
Bus stops, turnouts, bus shelters and other transit facilities shall be provided in accordance with the standards established by the Riverside Transit Agency and other applicable agencies. Residential areas planned adjacent to commercial centers shall consider convenient vehicular and pedestrian access to the centers and transit access areas.

IV. LANDSCAPE DESIGN STANDARDS

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A. Neighborhood Entry Statements

Any Schedule A Subdivision with 50 lots or greater shall have entry statements that create a distinctive image of a particular residential development. This entry feature should be designed to assist passing motorists to easily identify the development, and should complement the overall appearance of the greater community of which it is a part. Exhibit "C" provides an illustrative example of an entry monument and landscaping. All intersections of General Plan roads classified as Secondary Highway or higher shall have tract entrance designations. A tract entrance designation shall consist of a neighborhood identification sign on a decorative wall or monument, with at least a twelve foot depth of landscaping (measured from the right-of-way line) surrounding the wall or monument (Exhibit "B"). No element of the tract entrance designation shall be placed within the public right-of-way. The developer shall create private party maintenance arrangements for these elements at the time the project is built.



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B. Corner Cutbacks or Cutoffs.

Corner cutbacks or cutoffs shall be included at all intersections of General Plan roads classified as Secondary Highway or higher with all designated tract entrances. A minimum curb radius of 35 feet shall be provided at these intersections (Exhibit C).

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C. Landscaped Medians

Where required, landscaped street medians shall be constructed for the following road classifications within the Districts, consistent with the following Exhibits:

- o Exhibit "J" Commercial Arterial Highway
- o Exhibit "K" Residential Arterial Highway
- o Exhibit "L" Commercial Urban Arterial Highway
- o Exhibit "M" Residential Urban Arterial Highway

Similarly, at all designated residential tract entrances from roadways classified as Secondary Highways or higher, a landscaped entry median shall be installed. Decorative trees, shrubs and drought tolerant landscaping planted in medians should be clustered in random patterns rather than planted in evenly-spaced locations. Other acceptable median treatments include stamped concrete or river rock between landscaped areas.

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D. Reverse Frontage Treatments

Where reverse frontage occurs on Schedule "A" residential streets, the following guidelines shall apply:

- (1) The reverse frontage is defined as the parkway and sidewalk widths combined. Wider reverse frontage treatments should be employed on General Plan roadways with eighty-eight feet of right-of-way or more or where design considerations would make them appropriate (e.g., where project amenities like bike or jogging paths are included).
- (2) Meandering walks should be constructed to provide a random influence to the rigid geometry of the adjoining street scene. Adequate parkway widths are required to assure that the sidewalks create unique landscaping opportunities and do not take on a cramped, arbitrary appearance. Meandering walks which are designed to make use of existing mature trees or other natural aspects, e.g., large boulders, are encouraged.
- (3) Meandering sidewalks are encouraged and should be incorporated at the Specific Plan Map/Tentative Tract Map stage of project development. When a meandering sidewalk is appropriate along a particular reverse frontage, it shall be constructed consistent with the standards and examples shown in Exhibit A and Exhibit E.



- (4) Equestrian or hiking trails and bikeways and other recreational facilities shall be integrated into such treatments wherever required by current adopted local and regional trails system plans.
- (5) The location of lakes, parks, and other open space assets adjacent to major roads and other community entry points is encouraged to enhance community appearance and identity.
- (6) Reverse frontage treatments shall be maintained by a property owners' association or other maintenance entity, approved by the County, which insures maintenance in perpetuity.
- (7) Community perimeter (or theme) walls shall be solid walls located where view opportunities are not available. Plain concrete block walls are not permitted along reverse frontage areas. Wood fencing or other like-material walls are not permitted along reverse frontage areas. Brick, slump stone, tile, textured concrete or other material walls which require little or no maintenance are required. Use of ivy or other vegetative material to soften and punctuate the appearance of walls and reduce the likelihood of graffiti is strongly encouraged. The use of capping in conjunction with other vertical design elements to temper the top line of the wall is also encouraged.

(8) Where privacy of views is not an issue, powder-coated tubular steel or wrought iron sections may be constructed in perimeter walls in order to take advantage of casual view opportunities. A combination of a two- foot to three-foot high solid wall base with a wrought iron or tubular steel fence section between solid pilasters is a recommended design alternative .

(9) The typical maximum height of walls or fencing shall be six feet. Note that a greater height for perimeter walls may be required where noise mitigation or other special circumstances would dictate.

(10) Recreational amenities should be encouraged as a part of reverse frontage treatments:

(11) For a maximum effect, landscaping within the reverse frontage treatments shall be designed to have a "stepped-up" appearance, with low flowering ground cover nearest the curb, progressing to low and/or medium height plants or shrubs, and on to randomly clustered street trees near the perimeter wall of the tract. Plants shall be selected from the applicable Water District's approved list.

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E. Yard Landscaping Requirements

All new residences shall be provided with front yard landscaping and an automatic irrigation system. Drought tolerant landscape materials should be used as much as possible, especially in the desert areas. Landscaping shall be provided as follows:

- o A minimum of six, five gallon shrubs, one 24" box tree (minimum 2" caliper), and one 15 gallon or larger tree (minimum 1" caliper) shall be planted along the front of all homes (garage and side yard gate areas are excluded).
- o Creative project design uses of hardscape, decorative gravels, placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.
- o Landscaping should also consider the often high wind conditions of many portions of the county, providing hedges and windbreaks where appropriate, such as in common areas, and the strong securing of recently planted trees.
- o Street parkways and common lots, such as retention basins, shall be provided with landscaping consisting of decorative gravels, living ground covers, shrubs and some trees
- o Additional street facing common landscape planters should be encouraged in subdivision design for bikeways, recreational trails, neighborhood entry statements and noise buffering.
- o An appropriate maintenance entity shall be required for landscaping installed outside of the street right-of-way.
- o Location of landscaping shall be in accordance with applicable County Ordinances.
- o Drought tolerant landscape materials shall be provided in accordance with Ordinance 348.

**DESIGN AND
LANDSCAPE GUIDELINES
FOR DEVELOPMENT**



**ADOPTED BY RIVERSIDE COUNTY BOARD OF
SUPERVISORS ON SEPTEMBER 15, 1998
REVISED OCTOBER 23, 1998
REVISED AUGUST 27, 2002
REVISED OCTOBER 8, 2002**

Riverside County Planning Department

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Design and Landscape Guidelines

SECTION 1

Residential Design and Landscape Guidelines

I. STREET LAYOUTS

Curvilinear streets are required in the interiors of all housing tracts and subdivisions. The use of short cul-de-sac streets is strongly encouraged in order to create a small neighborhood feeling for residents.

Meandering sidewalks are encouraged along all reverse frontages where the parkway width is twenty-one (21) feet or greater. Said sidewalks shall be constructed in a random fashion rather than a repeating pattern and shall be constructed per Figure 1.

"T" intersections are a preferred design alternative to "four-way" intersections wherever two local streets or a collector and a local street intersect.

A reduction in the width of asphalt roadways and increases in the amount of horizontal curve of the street can be utilized to reduce traffic speeds where appropriate. A reduction in the width of built street surface must be utilized to accomplish other design objectives such as enhancing the buffer treatment of reverse frontage lots, providing for sheltered parking opportunities, incorporating bus stop turnouts, etc. The minimum interior street width may be reduced from the sixty (60) foot standard to no less than fifty-six (56) feet by reducing the asphalt travel lanes by two feet in each direction in order to achieve these objectives. Reduced street widths cannot be utilized in order to increase the number of saleable lots within a tract (see Figure 2).

II. NEIGHBORHOOD ENTRY STATEMENTS

Neighborhood entry treatments shall contain the following:

- (1) Corner cutbacks at all intersections of General Plan roads and all tract entrances which include an up-lighted neighborhood identification sign on a decorative wall or monument, and at least a twelve foot width of landscaping surrounding the wall or monument (see Figure 3);
- (2) A landscaped entry median at least ten (10) feet in width curb to curb, with landscaping six (6) feet in width, and twenty (20) feet in length is required at all tract entrances off of streets eighty-eight (88) feet in width ("Secondary Highways") and wider. Said medians shall be up-lighted and heavily landscaped with turf, trees, shrubs and flowers. Stamped concrete roadways shall be constructed perpendicular to all entry medians from curb to curb on both sides of medians (see Figure 4).

Additional distinguishing design features at all neighborhood entries are strongly encouraged.

III. REVERSE FRONTAGE TREATMENTS

Minimum reverse frontage treatments are:

TABLE 1.

Street	Standard ROW Width	Minimum Additional Parkway Width per Side	Total Minimum Parkway Width per side	Median width (Ord. 461)	Landscaping	Sidewalk	Total Width:		Figures
							Curb to Curb	ROW	
Local Street	60'	-2'	10'	Not required	5'	5'	36'	56'	1
Collector Street	66'	4'	15'	Not required	10'	5'	44'	74'	A
Secondary	88'	6'	18'	Not required	13'	5'	64'	100'	B
Major	100'	9'	21'	12'	16'	5'	76'	118'	C
Arterial (Commercial)	110'	9'	21'	18'	15''	6'	86'	128'	D
Arterial (Residential)	110'	9'	21'	18'	16'	5'	86'	128'	E
Urban Arterial (Commercial)	134'	9'	21'	14'	15'	6'	110'	152'	F
Urban Arterial (Residential)	134'	9'	21'	14'	16'	5'	110'	152'	G

(see Figure 5A. through 5G. for illustrated sections of above requirements)

Greater widths may be required of reverse frontage treatments employed on General Plan roadways with more than eighty-eight (88) feet of right-of-way or where design considerations would deem appropriate (e.g. where project amenities like bike paths or pedestrian ways are included). Acceptable widths of reverse frontage treatments in these instances could range from twenty-five (25) feet to fifty (50) feet.

Recreational amenities are a required part of reverse frontage treatments: (see Figure 5)

- Meandering walks shall contribute a random influence to the rigid geometry of the adjoining street scene. Adequate parkway widths (at least twenty-one (21) feet) will assure that the sidewalks create unique landscaping opportunities and do not take on a cramped, arbitrary appearance. Meandering walks which are designed in a fashion to make use of existing mature trees or other natural aspects (large boulders..) to

enhance the user's recreational experience are highly desirable.

- Equestrian or hiking trails and bikeways and other recreational facilities shall be integrated into such treatments wherever required by current adopted local and regional trails system plans, and are encouraged throughout the Second District.
- The location of lakes, parks, and other open space assets adjacent to major roads and other community entry points is encouraged to enhance community appearance and identity.

For a maximum effect, landscaping within the reverse frontage treatments shall be designed to have a “stepped-up” appearance, with low flowering ground cover nearest the curb, progressing to low and/or medium height plants or shrubs, and on to randomly clustered street trees near the perimeter wall of the tract. Plants shall be selected from the Riverside County Transportation Department's list of approved plants or from Eastern Municipal Water District's approved list.

Community perimeter or theme walls shall be solid walls located where view opportunities are not available. Plain concrete block walls are not permitted along reverse frontage areas. Wood, stucco-covered, or other like-material walls are not permitted along reverse frontage areas. Brick, slump stone, tile, textured concrete or other material walls which require little or no maintenance are required. Use of ivy or other vegetative material to soften and punctuate the appearance of walls and reduce the likelihood of graffiti is strongly encouraged. The use of capping in conjunction with other vertical design elements to temper the top line of the wall is also encouraged (see Figure 6).

Where privacy of views is not an issue, powder coated tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities (see Figure 6).

The maximum height of walls or fencing shall be six (6) feet in height.

IV. STREET MEDIANS

Landscaped street medians shall be constructed where required by Riverside County Ordinance No. 461. Medians that are at least twelve (12) feet wide provide sufficient separation of traveled ways to increase safety and offer room for decorative landscaping and hardscaping (see Table 1 and Figure 5).

Decorative trees and shrubs planted in medians should be clustered in random patterns rather than planted in evenly spaced locations. Other acceptable median treatments include stamped concrete or river rock between landscaped areas, turf, and/or flower beds.

V. RESIDENTIAL BUILDING LAYOUT

The minimum residential lot size within a housing tract in the Second Supervisorial District shall be no smaller than 7,200 square feet. A minimum of fifty (50) percent of the lots within each tract must have seventy (70) feet or wider of road frontage, as measured at the property line. The minimum lot frontage within a tract shall be sixty-five (65) feet except on knuckles or cul-de-sacs where the frontage may be reduced to thirty-five (35) feet. Building and lot layouts shall conform to Riverside County standards regarding minimum garage setbacks from access streets, minimum yard requirements, maximum height requirements, and other county standards, unless specific variances therefrom are granted.

Tracts of fifty or more homes must have a minimum of four distinct models. For the purposes set forth herein, a floor plan and its reverse floor plan shall count as one model. Each model shall be constructed with a minimum of three distinct facades.

The following information shall accompany all tentative subdivision maps for Riverside County review and approval:

- building footprints for each lot which identify the model number of the home shall be included on the tract map;**
- front, rear, and side elevations of all facades of all models to be constructed within the tract shall be included on separate sheets;**
- front, rear, and side yard setbacks of all homes shall be shown on the tract map;**
- all exterior building materials, including roofing materials shall be identified on the elevations (composition shingles and wood shakes are not permitted);**
- typical landscape plans for each model (including all plant names/varieties and container sizes);**
- landscape plans for reverse frontages and neighborhood entry statements and medians (including all plant names/varieties and container sizes).**
- mailbox locations and design shall conform to current United States Postal Service standards.**

Long unarticulated building facades shall be avoided by incorporating varying setbacks of the building footprint in a random fashion along the residential street. Projecting architectural features such as wood-framed windows, columns, offset roof planes, and other features shall be used to create both vertical and horizontal articulation. These features shall be included

on the rear facades and sides of homes in order to prevent monotonous views from back yards and exterior roadways with views of reverse frontages. Houses shall be arranged in a manner that creates a harmonious, varied appearance of building heights and setbacks.

Residential plans that feature attached garage designs whose entries are from the side ("side-loaded garages") are encouraged. If side-loaded garages are utilized, a reduction in front yard setback of up to five feet is permitted if approved in conjunction with the approval of the tract. If the additional setback is not requested until after construction has commenced, setback adjustments may be requested for up to thirty (30) percent of the total lots.

VI. RESIDENTIAL AMENITIES

All new residences shall be provided with front yard landscaping and an automatic irrigation system. Landscaping shall include a combination of turf, trees and shrubs. A minimum of two (2) trees (15 gallon or larger) shall be planted in each front yard along with a commensurate number of shrubs which are to be planted within three (3) foot deep planters along the front of all homes (garage and side yard gate areas are excluded).

All new residences shall be provided with roll-up garage doors.

All new residences constructed on lots of less than 20,000 square feet shall include rear and side yard fencing constructed of masonry block which is a minimum of five (5) feet in height, subject to the following parameters:

- all lots having rear and/or side yards facing local streets or otherwise open to public view shall be constructed of decorative block wall.**
- corner lots shall be constructed with wrap around decorative block wall returns.**
- side yard gates are required on one side of the home and shall be constructed of powder coated wrought iron or tubular steel.**

Powder coated wrought iron fence sections may be included within tracts where view opportunities and/or terrain warrant its use (see Figure 6).

Powder coated wrought iron, wood, or chain link fences or gates are allowed where a residence is being constructed on a lot of at least 20,000 square feet.

- wood fencing shall be constructed with galvanized steel posts set in concrete to a minimum depth of 24 inches with 3 inches of cover on all sides.**

All new residences shall have at least one fireplace in the living room or family room area.

Nonresidential Design and Landscape Guidelines

VII. COMMERCIAL DEVELOPMENT

Along the adjoining street of a commercial development, shade trees shall be provided in an adequate manner and extent to minimize that development's visual impact on nearby residential areas and soften its impact on through traffic.

Shade trees shall also be provided in an adequate manner and extent to shade off-street parking areas, and shall meet or exceed the shading requirements of Ordinance 348.

Landscaped berms adjacent to streets shall be used to minimize the visual effect of shopping centers on adjacent uses (see Figure 7).

Gas stations located at intersections shall be oriented so that the site's building is located adjacent to the intersection corner, with attractive landscaping, and that the gas pumps are located in the interior of the site, with access drives located as far from the intersection corner as possible. Adequate sight distance shall be maintained at intersections for all traffic movements.

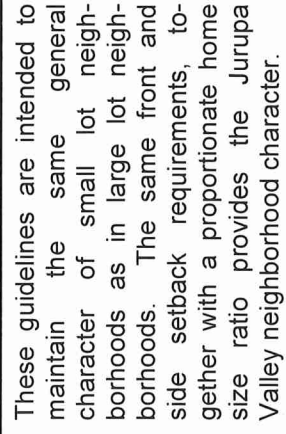
A commercial development sign plan must be submitted for review with a project application and shall achieve consistency throughout.

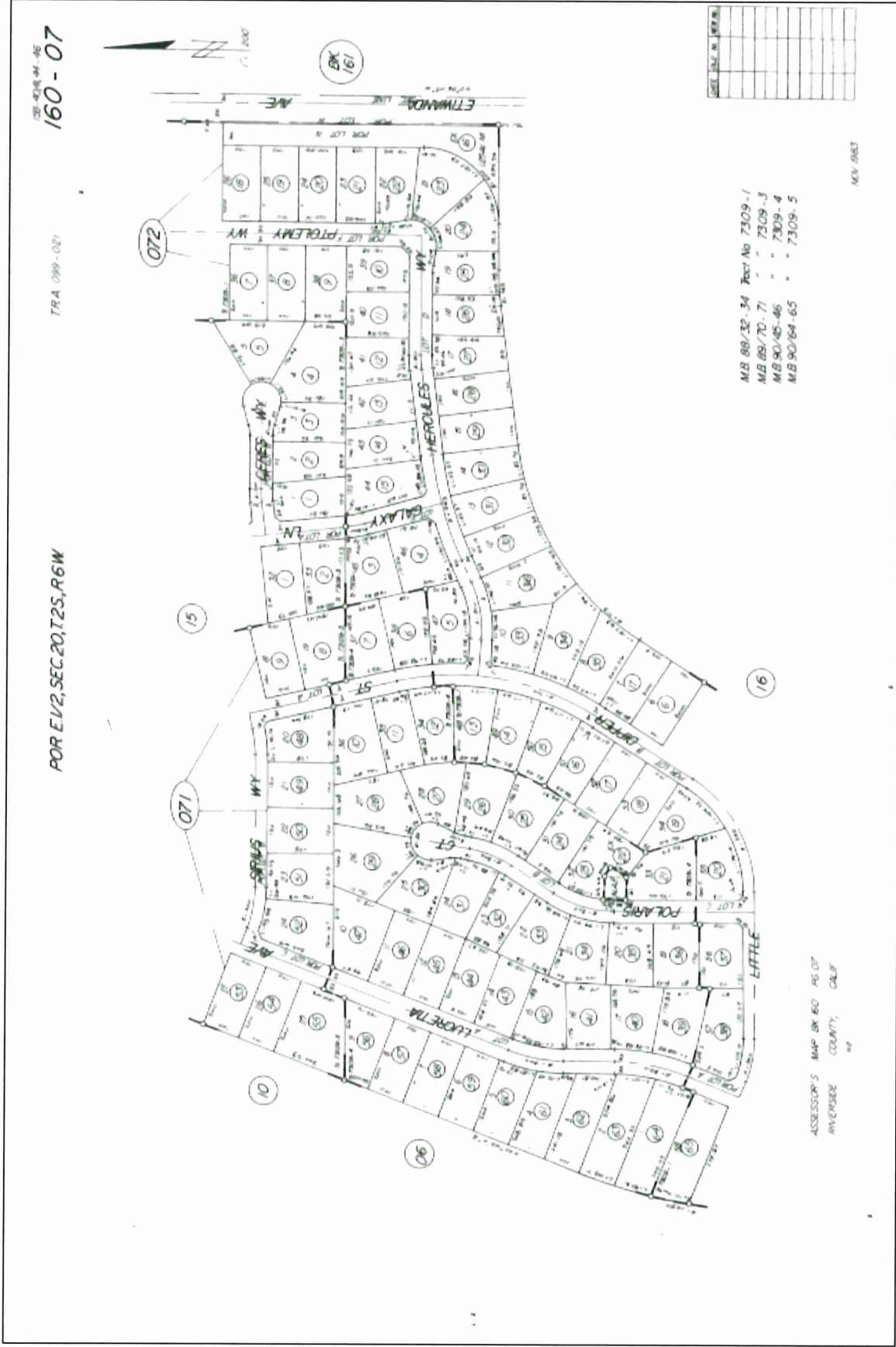
- Identity signs for commercial and industrial projects shall utilize low profile monument signs rather than pylon or pole signs (see Figure 8).
- Individual tenant spaces within a project shall utilize channel lettering rather than "canned" lettering in their signs (see Figure 9).

ATTACHMENT NO. 5

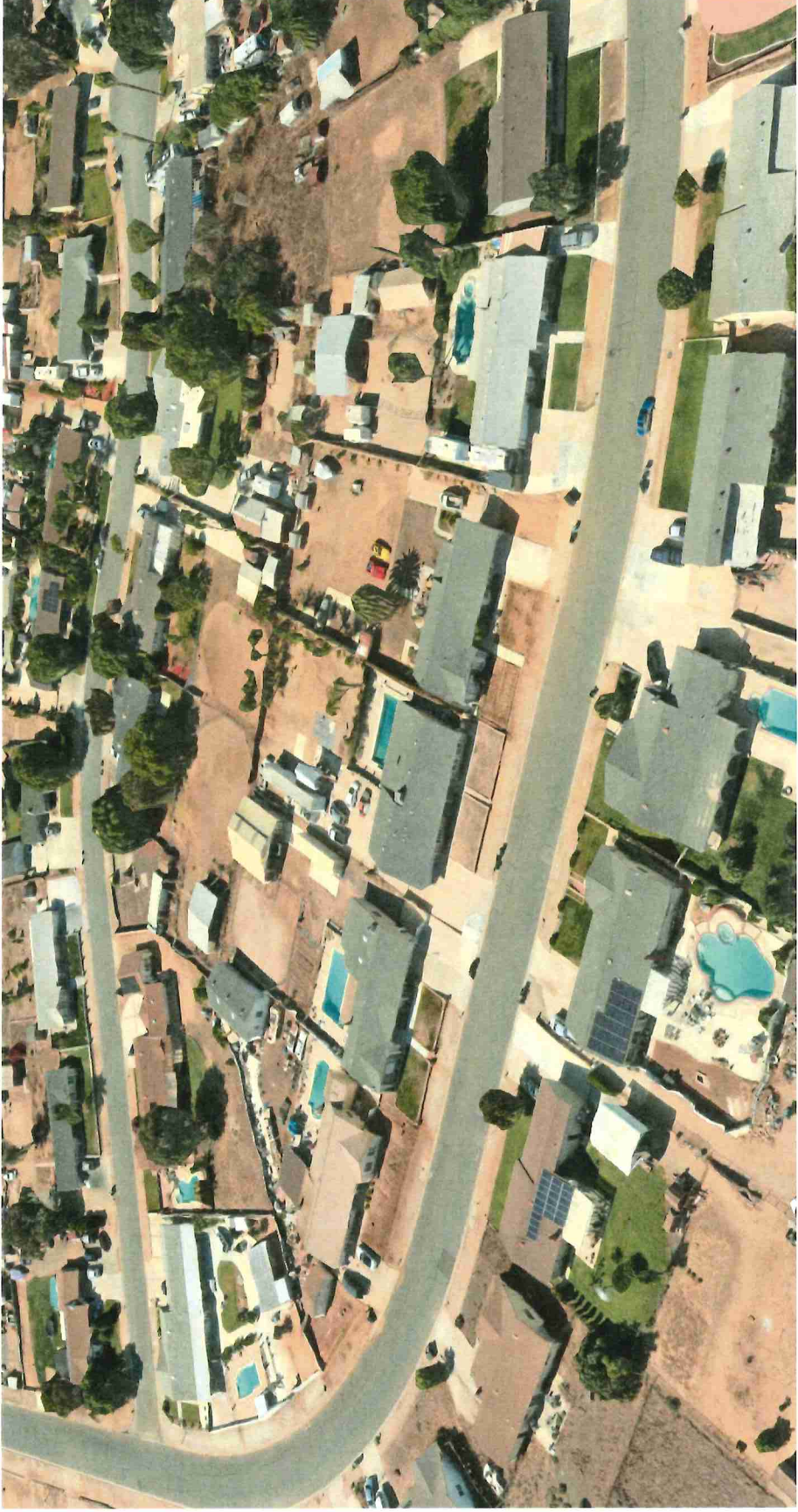
Planning Department Lot to Home Size Study

HOME - LOT SIZE RATIO

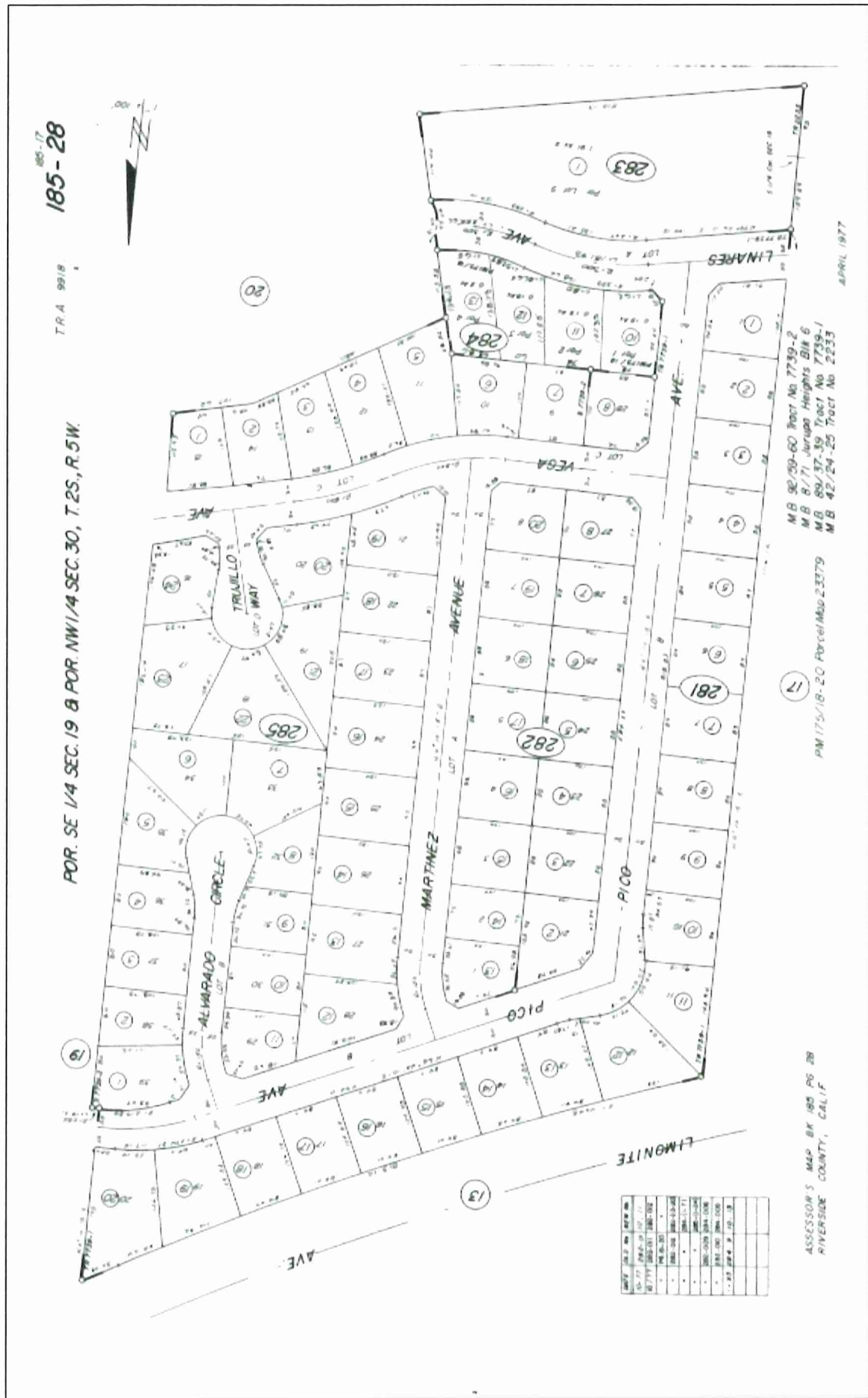
A photograph of a well-maintained lawn with a concrete walkway, palm trees, and a house in the background. The image is oriented horizontally on the page.



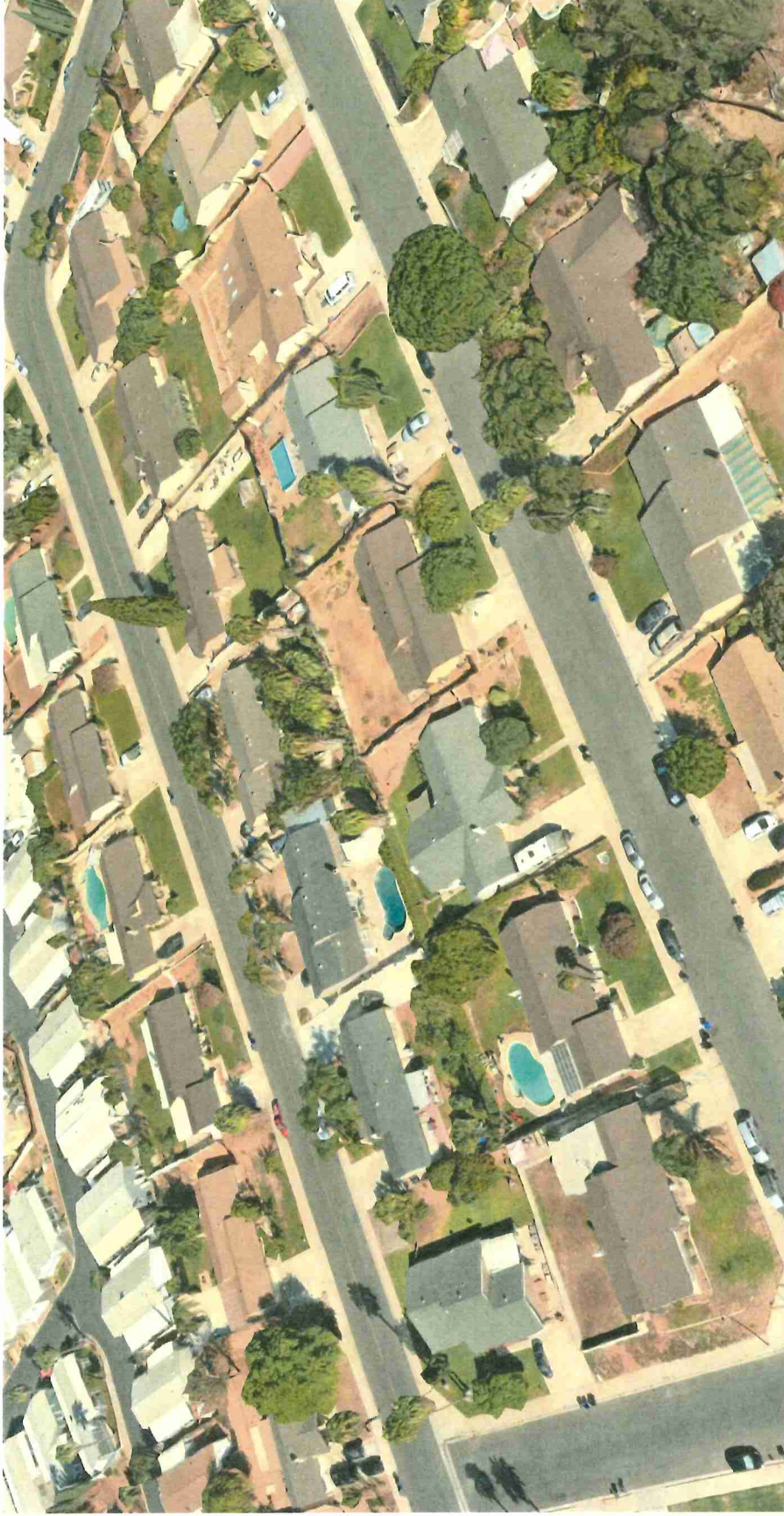
This AP map is a neighborhood in Sky Country, where the lots are generally 20,000 square feet and 100 feet wide by 200 feet deep.



This aerial view of the same neighborhood in Sky Country shows that most homes are set back from the street about 25 feet and have one side yard at 10 feet and the other at 5 feet. Thus, the homes are generally 15 feet apart and are all single story. The rear yards are as much as 100 feet.



This R-1 neighborhood in Jurupa Hills has 10,000 square foot lots, most of which are 100 feet wide



This aerial view shows a similar spacing between homes and similar front setbacks as the Sky Country neighborhood. The difference is in the amount of land in the rear yard. The general character of the neighborhood is visually the same except for the trail along street frontages in Sky Country.

DESIGN GUIDELINES

ALLOW FOR SPACIOUS YARDS, MAKE HOUSE FIT THE LOT - RATIO OF LOT SIZE TO HOUSE SIZE (FAR - 25% 1ST FLOOR + 15% 2ND FLOOR)

AMOUNT OF OPEN SPACE PER LOT (SOFTSCAPE 50%)

RURAL OR HISTORIC NEIGHBORHOOD STYLE ARCHITECTURE (RANCH, FARMHOUSE, CRAFTSMAN, BUNGELow, ETC.)

25' - 30' FRONT SETBACK OR 10' SIDE YARD WITH 20' SETBACK

AVOID STREET VIEW DOMINATED BY GARAGE DOORS (SIDE FACING GARAGES, REAR YARD GARAGES, SECURE ALLEY ACCESS, ETC.)

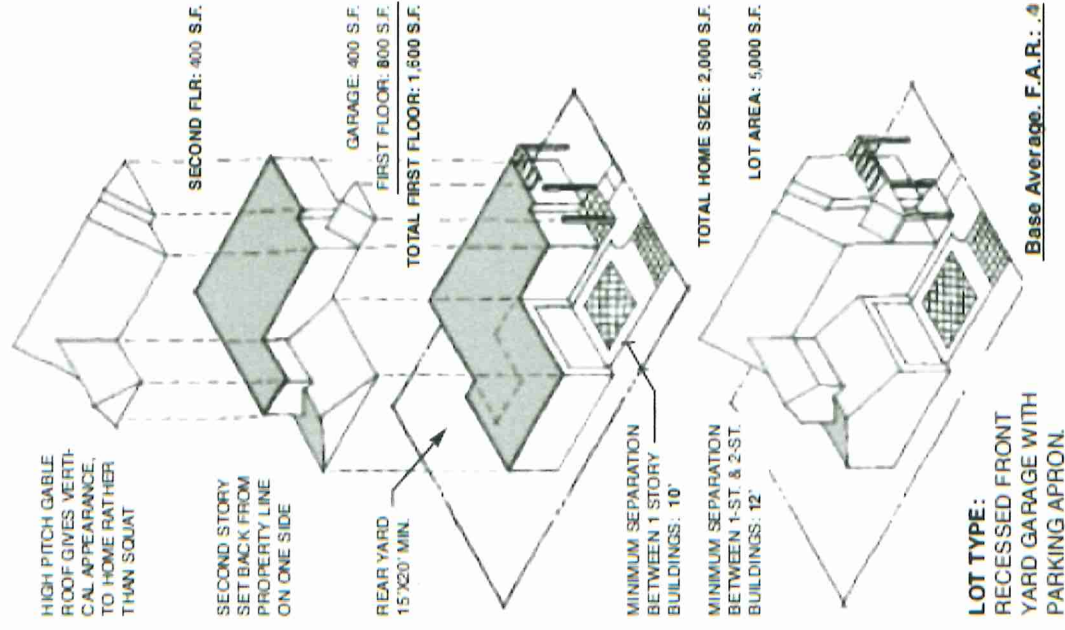
NARROW STREET WITH 9' PARKWAY & 5' SIDEWALK OR DG TRAIL

RIVER ROCK OR LAYERED STONE WALLS
INDIGENOUS LANDSCAPING (OAKS, SYCAMORES, ETC.)

VARIABLE SETBACKS, SEMI-RURAL CHARACTER WITH GENTLE CURVILINEAR STREETS

PEDESTRIAN / EQUESTRIAN CONNECTIVITY TO ACTIVITY CENTERS (COMMERCIAL, CHURCH, PARK, STAGING AREAS, ETC.)

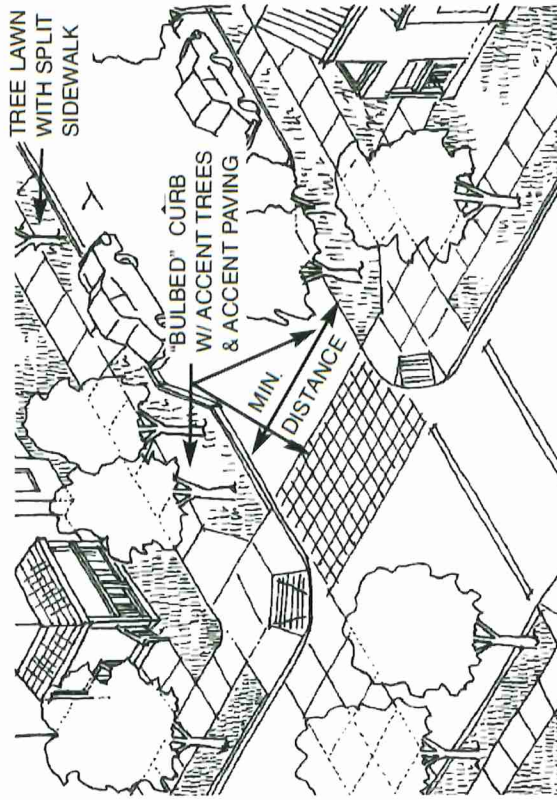
Example F.A.R. Calculation of a Single Lot



PREFERRED STREET SECTIONS



Street Section: With Street Trees (Preferred)



DGL 1.4.5: Neckdown curbs, accent trees and decorative paving at primary intersections, parks and tot lots are desirable.

NEIGHBORHOOD / SOCIAL DESIGN

- USABLE FRONT PORCHES
- EXTENSIVE SHADE TREES IN PARKWAYS
- MINIMIZE CUL DE SAC DESIGN
- CONNECTIVITY TO EXISTING NEIGHBORHOODS
- ALLOW ROOM ON EACH LOT FOR ADDITIONS (PATIO, BEDROOM, ETC.)
- CONNECTIVITY/PERMEABILITY THROUGHOUT NEIGHBORHOODS
- MINIMIZE LENGTH OF BLOCKS (INTERRUPT WITH STREETS, ALLEYWAYS, TRAILS, BIKE PATHS, OPEN SPACE CORRIDORS, ETC.)

PROVISION TO KEEP ANIMALS

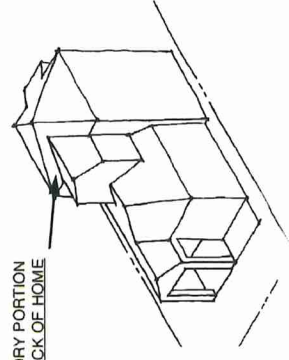
ADEQUATE GUEST PARKING

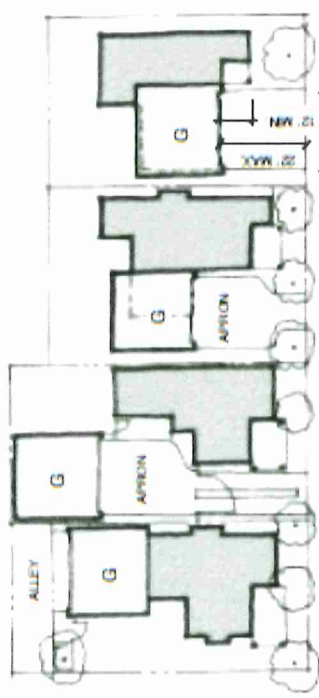
PRESERVATION OF OPEN SPACE / NATURAL FEATURES

SPECIAL DESIGN FEATURES

- MAILBOXES
- TRASH PICKUP AREAS
- ENTRY STATEMENT
- ENRICHED PAVEMENT
- TRAFFIC CALMING

2-STORY PORTION AT BACK OF HOME



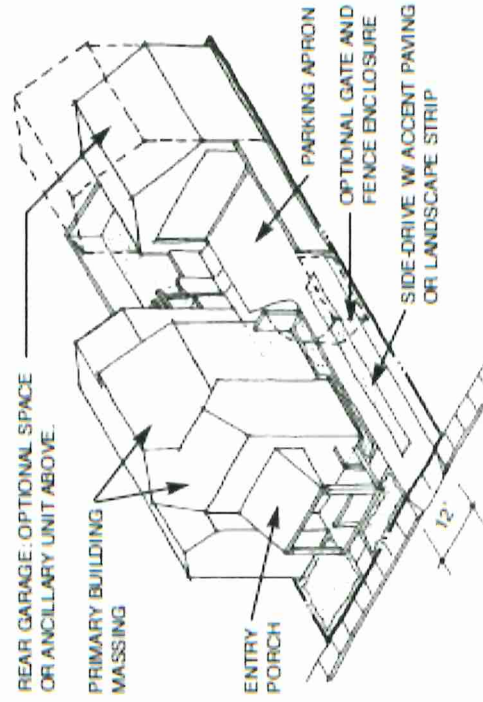


Alley Access: Attached or Detached (Minimum 25% Required)

Side-Drive, Rear: Semi-Recessed Front Yard Apron (Additional 25% Max. allowed)

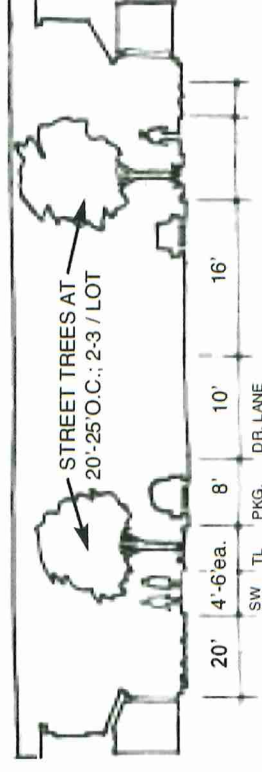
Garage with Standard Front Yard Apron (50% Max. Allowed)

Typical Garage Locations and Proportions

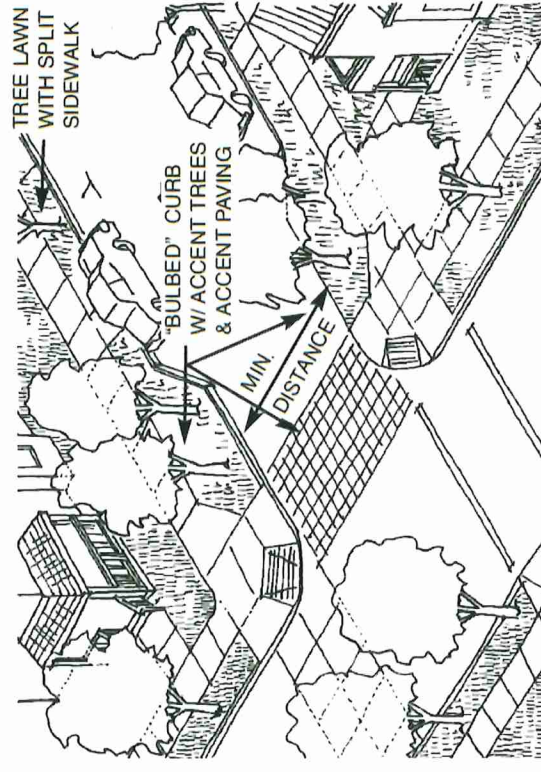


Preferred: Side-Drive Lot Configuration

PREFERRED STREET SECTIONS



Street Section: With Street Trees (Preferred)



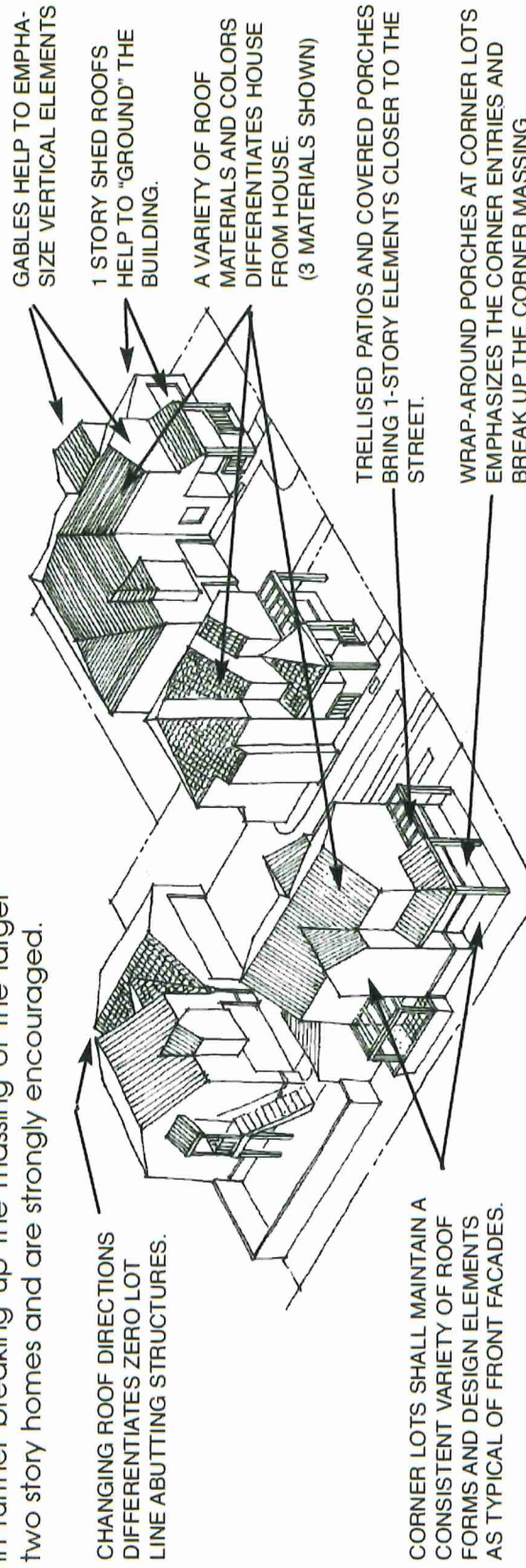
DGL 1.4.5: Neckdown curbs, accent trees and decorative paving at primary intersections, parks and tot lots are desirable.

Roof Forms

Single story Roof Elements

One story roofs, often over porches or bays assist in further breaking up the massing of the larger two story homes and are strongly encouraged.

A variety of hips and gables shall be used. High pitched roofs and gables are often most successful when used to emphasize vertical elements of the facade.



First floor roofs over porches and bays as well as extended roofs and trellis are encouraged to "bring the buildings to the ground" and add detail, breaking up the massing.

Note: Roof forms, materials and details add a great deal of variety to the residential neighborhood or development.

ATTACHMENT NO. 6

Conceptual Elevations



FRONT ELEVATION

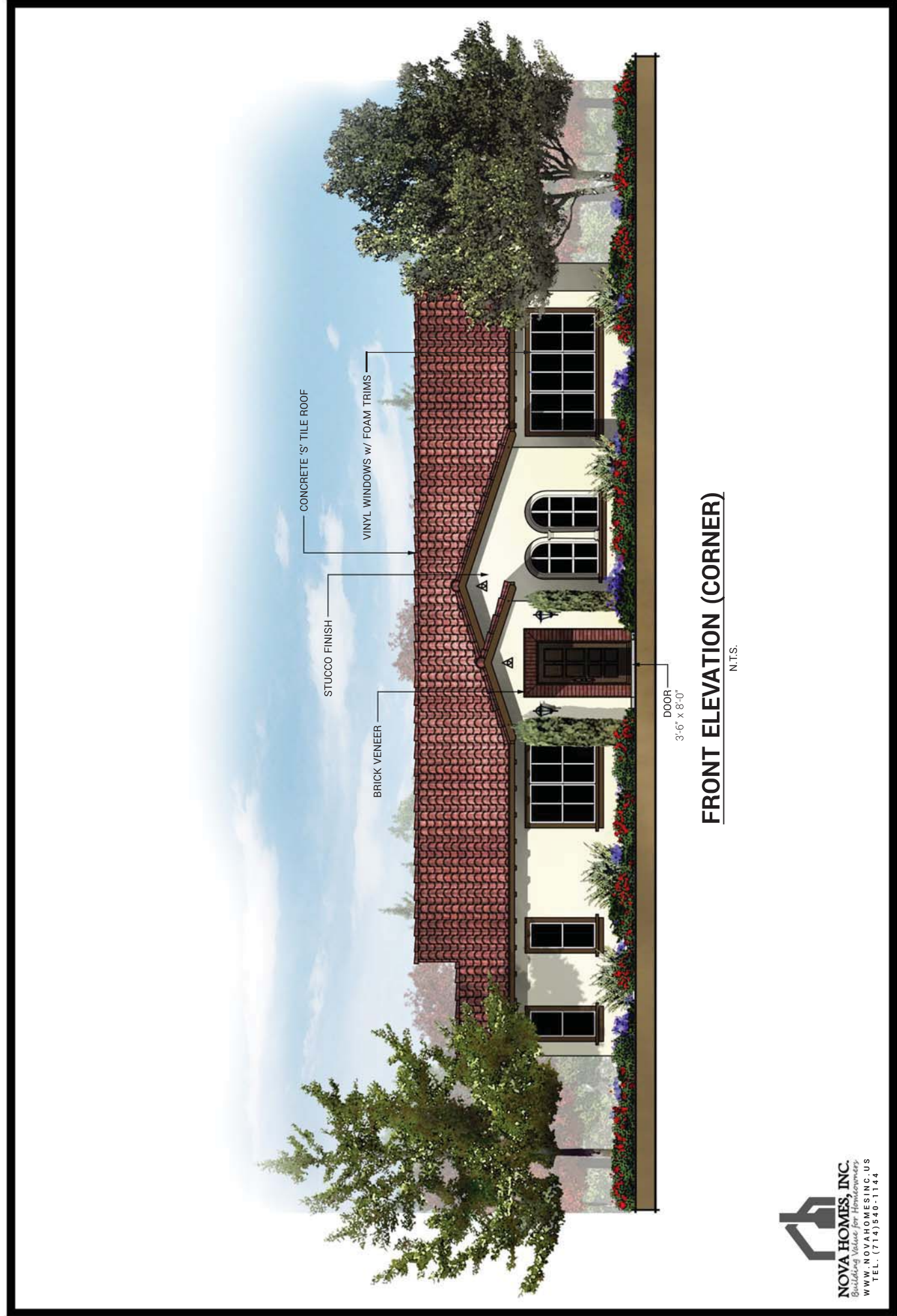
N.T.S.

NOVA HOMES, INC.
Building Value for Homeowners
WWW.NOVAHOMESINC.US
TEL: (714) 540-1144

1A

TUSCAN
1,462 SF. - ONE STORY
3 BED, 2 BATHS

PEARL COMMUNITY
JURUPA VALLEY, CA



1B-C

SPANISH TRADITIONAL
1,521 SF. - ONE STORY
3 BED, 2 BATHS

PEARL COMMUNITY
JURUPA VALLEY, CA



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Building Value for Homeowners
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TEL: (714) 540-1144

FRONT ELEVATION
N.T.S.



FRONT ELEVATION
N.T.S.

NOVA HOMES, INC.
Building Value for Homeowners
WWW.NOVAHOMESINC.US
TEL: (714) 540-1144

3B

SPANISH TRADITIONAL
2,253 SF. - TWO STORY
4 BED, 2.5 BATHS

PEARL COMMUNITY
JURUPA VALLEY, CA



FRONT ELEVATION

N.T.S.



COTTAGE

2,417 SF. - TWO STORY
5 BED, LOFT OR OPT. 6 BED, 3 BATHS

4C

PEARL COMMUNITY
JURUPA VALLEY, CA



FRONT ELEVATION
N.T.S.

NOVA HOMES, INC.
Building Value for Homeowners
WWW.NOVAHOMESINC.US
TEL: (714) 540-1144

5A

TUSCAN
2,696 SF. - TWO STORY
5 BED, LOFT, 3 BATHS

PEARL COMMUNITY
JURUPA VALLEY, CA



FRONT ELEVATION

N.T.S.

NOVA HOMES, INC.
Building Value for Homeowners
 WWW.NOVAHOMESINC.US
 TEL: (714) 540-1144

TUSCAN
 2,902 SF. - TWO STORY
 5 BED, LOFT, 3 BATHS

6A

PEARL COMMUNITY
 JURUPA VALLEY, CA